

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

This document forms part of the above approval issued under Section 80 of the Environmental Planning and Assessment Act. 1979.
This document must not be used or relied upon for construction purposes.

Kerry Robinson
General Manager
per:

PRINCE STREET

CAR PARKING SCHEDULE

RESIDENTIAL	No of Units	Parking rates	Required		Proposed	
			Required	Proposed	Required	Proposed
1 bedroom	31	1 space per unit	31	31	5	5
2 bedroom	50	1 space per unit	50	50	1	1
COMMERCIAL	AREA	Parking rates	Required		Proposed	
			Required	Proposed	Required	Proposed
F03 sq m	1 space per 20 sq m		23.4	23	2	2
VISITORS	81	1 space per 2.5 Dwellings	22.4	32	3	3
SERVICES / CARRIER	1	1 space per 2000 sq m (GFA)	1	1		
Total			137.8	137	15	14

PARKING LEGEND

COLOUR	DESCRIPTION
	RESIDENTIAL PARKING
	RESIDENTIAL ACCESSIBLE PARKING
	COMMERCIAL PARKING
	COMMERCIAL ACCESSIBLE PARKING
	VISITOR PARKING
	VISITOR ACCESSIBLE PARKING
	SERVICES / CARRIER PARKING

Revision	Date	Description
A	10.05.14	GA Submission
B	10.07.15	GENERAL AMENDMENTS
C	23.07.15	GENERAL AMENDMENTS
E	01.01.16	REVISIONS TO FLOOR PLANS AND FACADE AMENDMENTS

Notes
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE. Measurements will be done.
Figures shown here to be used at all times.
If in doubt, ASK.
All dimensions or discrepancies to be notified to the architect.

Scale
1:100 at A1 1:200 at A3

Project Architect
CHANINE DESIGN
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Date: 03/03/2016
Drawn: RL

Project:
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN
Drawing title:
BASEMENT 04 FLOOR PLAN

GA SUBMISSION
J14202
DA003
E

Ext. Walls:	Construction: Helbel PowerPanel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: As per plans	Details: As per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: As per plans	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roofs:	Construction: Concrete	Insulation: 60mm Anticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01-A	Glass: Single Clear	Frame: Aluminium	Uw/JWC: 6.70/0.70
Other:	Orientation: 230	Terrain: Suburban	Weatherheads: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

1 BASEMENT 4

1:100 at A1 1:200 at A3

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Kerry Robinson
General Manager

per:

PRINCE STREET

CAR PARKING SCHEDULE

RESIDENTIAL	No of Units	Parking rates	ACCESSIBLE			
			Required	Proposed	Required	Proposed
1 bedroom	31	1 space per unit	31	31	9	9
2 bedroom	50	1 space per unit	50	50	1	1
COMMERCIAL						
AREA	Parking rates					
702 sq m	1 space per 70 sq m		23.4	23	2	2
VISITORS						
R1	1 space per 2.5 Dwelling		32.4	32	3	3
SERVICES / CARRIER						
1	1 space per 2000 sq m (GFA)		1	1		
Total			137.8	137	15	14

REFERENCES

DRAWINGS TO BE READ IN CONSULTATION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STONEMASON ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO OTHER NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

PARKING LEGEND

COLOUR	DESCRIPTION
	RESIDENTIAL PARKING
	RESIDENTIAL ACCESSIBLE PARKING
	COMMERCIAL PARKING
	COMMERCIAL ACCESSIBLE PARKING
	VISITOR PARKING
	VISITOR ACCESSIBLE PARKING
	SERVICES / CARRIER PARKING

Revision	Date	Description
A	10/05/14	DA SUBMISSION
B	07/07/15	GENERAL AMENDMENTS
C	23/07/15	GENERAL AMENDMENTS
E	10/03/18	TRAILING POSITION AND FACADE AMENDMENTS

notes
All dimensions and details to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P to GO NOT ASK.
All variations or discrepancies to be notified to the architect.



Project Architect
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date
03/05/2018

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

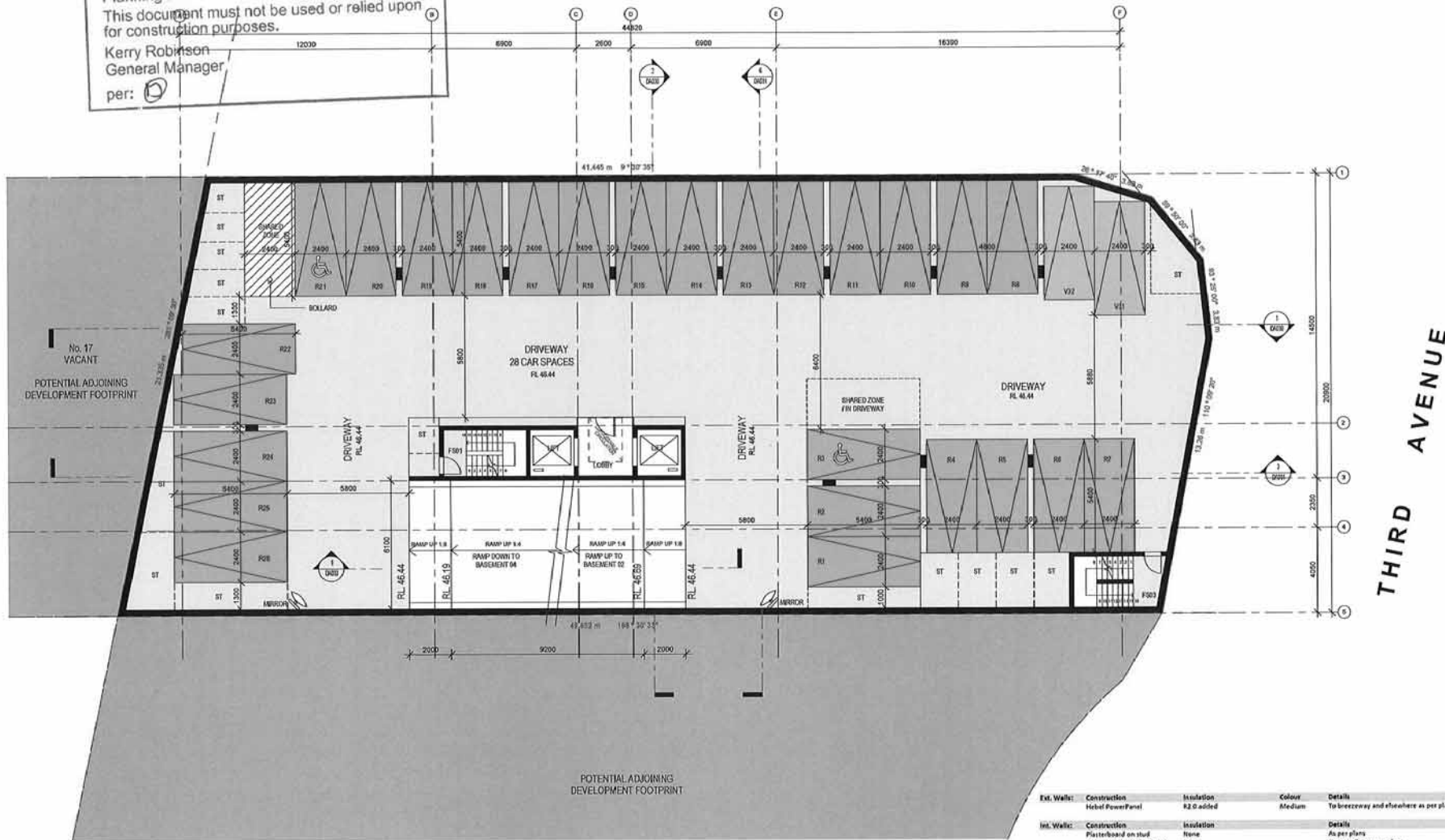
LGA, BLACKTOWN

BASEMENT 03 FLOOR PLAN

DA SUBMISSION

J14202 DA004 E

job no. drawing no. rev.



1 BASEMENT 3
1:100 at A1 1:200 at A3

Ext. Walls:	Construction: Herbel Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: None	Details: As per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: None	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: None	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Austcon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM 002.01.A	Glass: Single Clear	Frame: Aluminium	Details: As per plans
Other:	Orientation: 280	Terrain: Suburban	Weekends: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per: [Signature]

PRINCE STREET

CAR PARKING SCHEDULE

RESIDENTIAL	No of Units	Parking rates	Required		Proposed	
			Required	Proposed	Required	Proposed
1 bedroom	31	1 space per unit	31	31	8	9
2 bedroom	50	1 space per unit	50	50	1	
COMMERCIAL		AREA	Parking rates			
		703 sq m	1 space per 30 sq m	23.4	23	2
VISITORS		81	1 space per 2.5 Dwelling	32.4	32	3
SERVICES / CARRIER		1	1 space per 2000 sq m (EPA)	1	1	
Total			137.8	137	15	14

PARKING LEGEND

COLOR	DESCRIPTION
[Symbol]	RESIDENTIAL PARKING
[Symbol]	RESIDENTIAL ACCESSIBLE PARKING
[Symbol]	COMMERCIAL PARKING
[Symbol]	COMMERCIAL ACCESSIBLE PARKING
[Symbol]	VISITOR PARKING
[Symbol]	VISITOR ACCESSIBLE PARKING
[Symbol]	SERVICES / CARRIER PARKING

Revision	Date	Description
A	10-05-14	DA Submission
B	12-07-15	GENERAL AMENDMENTS
C	13-07-15	GENERAL AMENDMENTS
E	10-05-16	TRAILING PORTION AND FACADE AMENDMENTS

Notes:
All dimensions and details to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P to COMPLY - ASIC.
All annotations or discrepancies to be notified to the architect.

Scale:
1:100 at A1 1:200 at A3

Project Architect:
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Copyright:
The copyright of this drawing shall vest in the architect. No part of this drawing shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage or retrieval system, without prior written permission from the architect.

Date: 03/05/2016

Project:
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

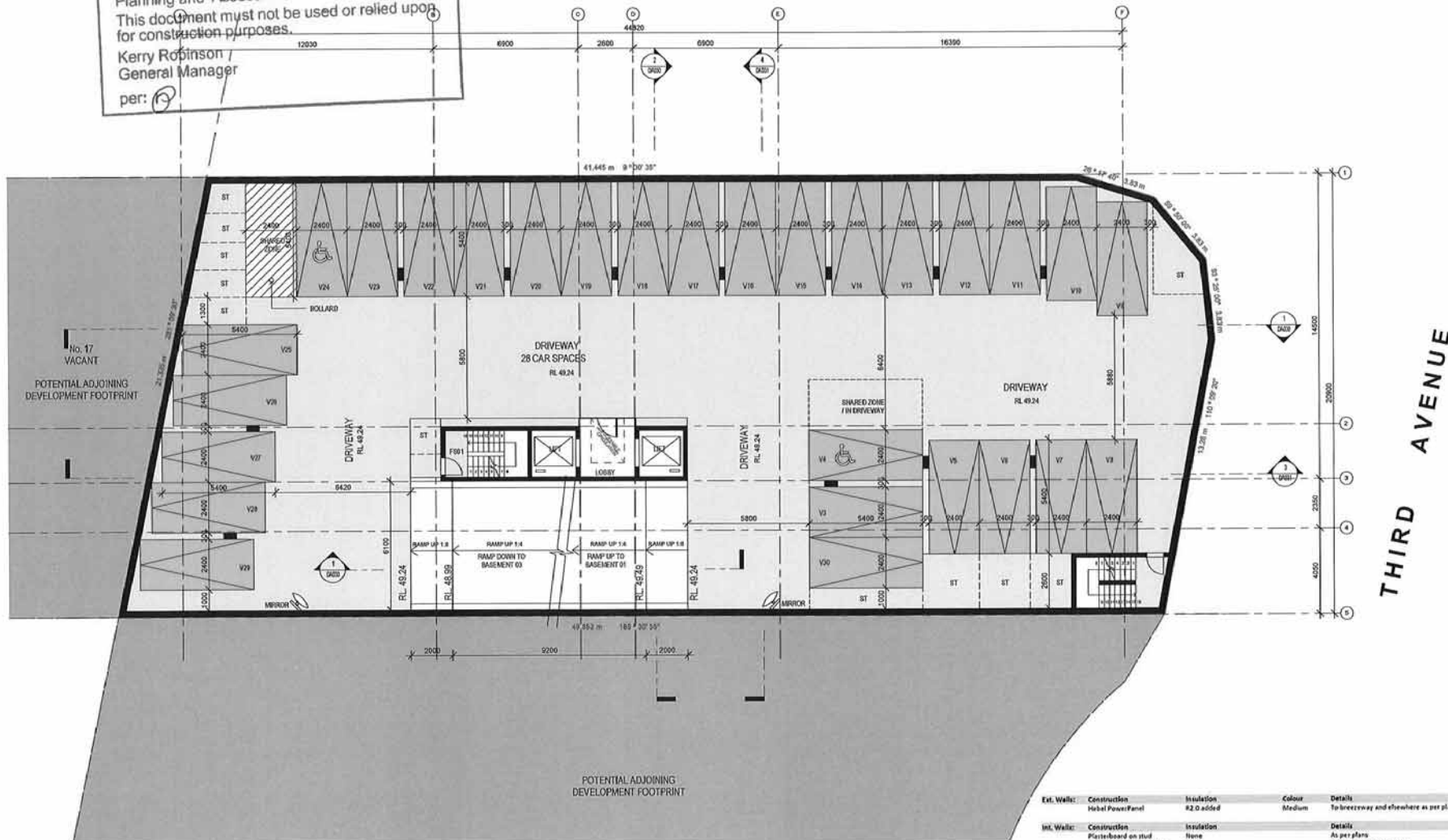
Drawing title:
LGA: BLACKTOWN

BASEMENT 02 FLOOR PLAN

DA SUBMISSION

J14202 DA005 E

Job no. Drawing no. Rev.



1 BASEMENT 2

1:100 at A1 1:200 at A3

Ext. Walls:	Construction: Helix Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans.
Int. Walls:	Construction: Plasterboard on stud Helix and direct fix plaster	Insulation: None	Colour: None	Details: As per plans Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: None	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: None	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Acoustic (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALUM 002-01 A	Glass: Single Clear	Frame: Aluminium	Uw/SHGCw: 6.70/0.79 As per plans
Others:	Orientation: 280	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes Recessed Downlights: No

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per:

PRINCE STREET

CAR PARKING SCHEDULE

RESIDENTIAL	No of Units	Parking rates	ACCESSIBLE			
			Required	Proposed	Required	Proposed
1 bedroom	31	1 space per unit	31	31	9	9
2 bedrooms	50	1 space per unit	50	50	1	1
COMMERCIAL						
AREA	703 sq m	1 space per 30 sq m	23.4	23	2	2
VISITORS						
81	1 space per 2.5 Dwelling	32.4	32	3	3	3
SERVICES / CARRIER						
1	1 space per 2000 sq m (GFA)	1	1	15	14	14
Total			137.8	137	15	14

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL, ELECTRICAL, STORMWATER, FIRE PROTECTION, LANDSCAPE ARCHITECTURE, FIRE PROTECTION, ELECTRICAL, SERVICES AND MECHANICAL SERVICES PLANS AND OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONSTRUCTION AND ADDITIONAL REQUIREMENTS.

PARKING LEGEND

COLOUR	DESCRIPTION
	RESIDENTIAL PARKING
	RESIDENTIAL/ACCESSIBLE PARKING
	COMMERCIAL PARKING
	COMMERCIAL/ACCESSIBLE PARKING
	VISITOR PARKING
	VISITOR/ACCESSIBLE PARKING
	SERVICES / CARRIER PARKING

revision	Date	Description
A	10.05.14	DA Submission
B	07.07.15	REVISION AMENDMENTS
C	23.07.15	REVISION AMENDMENTS
D	05.05.16	REVISION AMENDMENTS

notes
All dimensions and extents to be verified prior to construction.
DO NOT SCALE dimensions off drawings.
Figures dimensions to be used at all times.
P10 SOUTH - ASH
All extensions or discrepancies to be notified to the architect.

scale
1:100
1:200

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date 03/03/2016 name RL

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

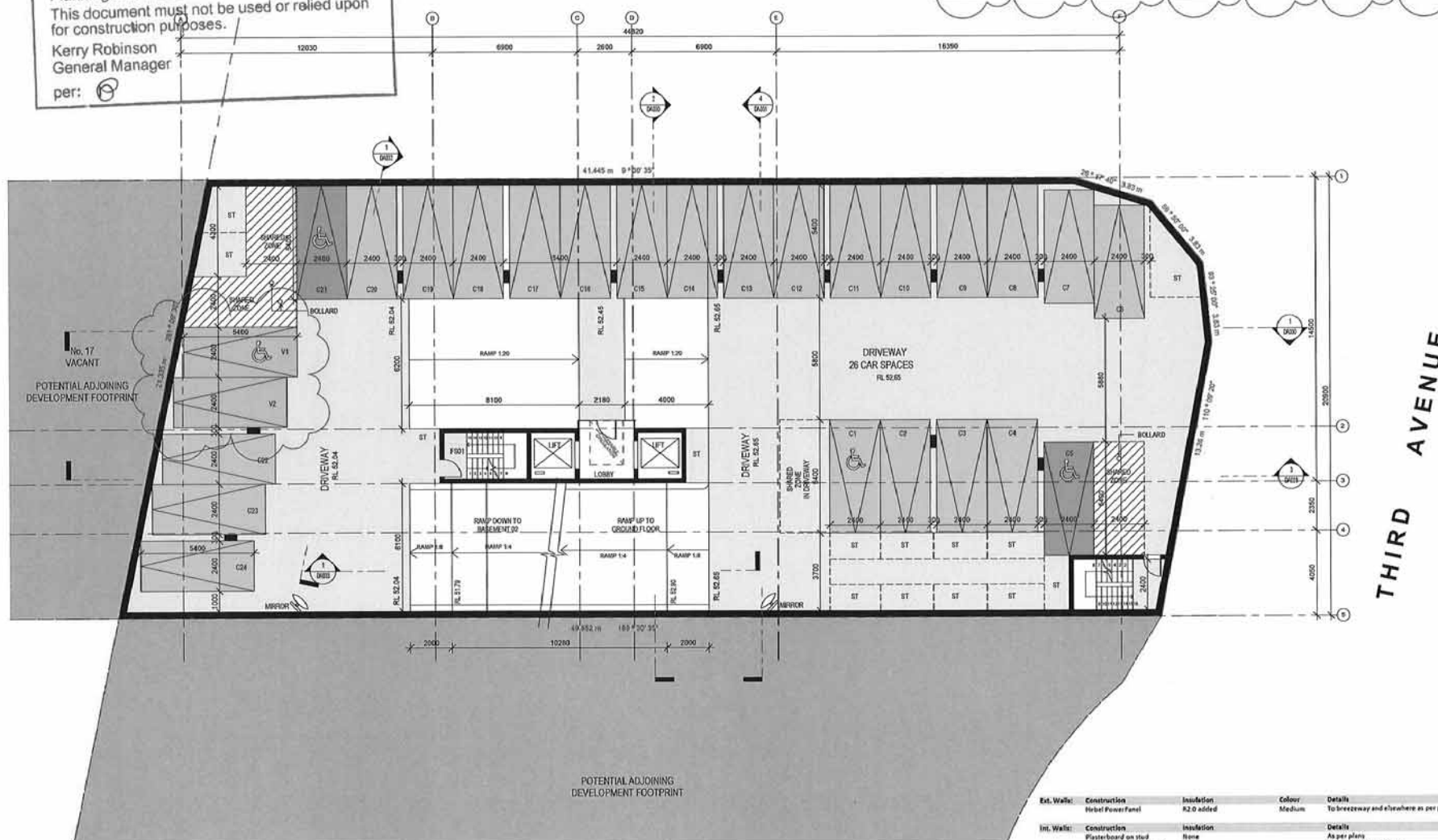
LOA, BLACKTOWN

drawing title
BASEMENT 01 FLOOR PLAN

DA SUBMISSION

J14202 DA006 E

job no. drawing no. rev.



1 BASEMENT 1

1:100 at A1 1:200 at A3

Ext. Walls:	Construction: Herbol Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: None	Details: As per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: None	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: None	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Anticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALUM-002-01 A	Glass: Single Clear	Frame: Aluminium	Details: As per plans
Other:	Orientation: 230	Termin: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes
				Accessed Downlights: No

PRINCE STREET

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per: [Signature]

REFERENCES
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REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO THOSE NOTED ON PLANS.

REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR COMPARISON AND ADDITIONAL REQUIREMENTS:

COLOUR LEGEND

[Shaded Box]	STUDIO
[Light Grey Box]	1 BED
[Medium Grey Box]	1 BED+S
[Dark Grey Box]	2 BED
[Very Dark Grey Box]	2 BED+S
[White Box]	LOBBY
[Patterned Box]	COMMERCIAL

PARKING LEGEND

COLOUR	DESCRIPTION
[Shaded Box]	RESIDENTIAL PARKING
[Patterned Box]	RESIDENTIAL ACCESSIBLE PARKING
[Dark Grey Box]	COMMERCIAL PARKING
[Patterned Box]	COMMERCIAL ACCESSIBLE PARKING
[Light Grey Box]	VISITOR PARKING
[Patterned Box]	VISITOR ACCESSIBLE PARKING
[Patterned Box]	SERVICES / CARAVAN PARKING

Revision	Date	Description
A	10.03.14	DA Submission
B	10.03.15	GENERAL AMENDMENTS
C	23.07.15	GENERAL AMENDMENTS
D	23.07.15	ADDITIONAL INFORMATION
E	29.08.16	WALL POSITION AND FRIDGE AMENDMENTS
F	16.04.18	GENERAL AMENDMENTS
G	14.07.18	AMENDED WASTE ROOMS

NOTES
All dimensions and details to be verified prior to commencement.
DO NOT SCALE dimensions or dimensions.
Figures dimensions to be used at all times.
P to BOST - AS.
All variations or discrepancies to be notified by the architect.

scale
1:100 at A1 1:200 at A3

Project Architect:
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date
30/03/2018

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LDA
BLACKTOWN
drawing title
GROUND FLOOR PLAN

DA SUBMISSION
J14202

DA007
G

Ext. Walls:	Construction: Hebel PowerPanel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: As per plans	Details: Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: As per plans	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Autikon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-902-01 A	Glass: Single Clear	Frame: Aluminum	Use/Finish: As per plans
Other:	Orientation: 230	Terrain: Suburban	Weatherseal: Yes	Exhaust: Yes
				Recessed Downlights: No

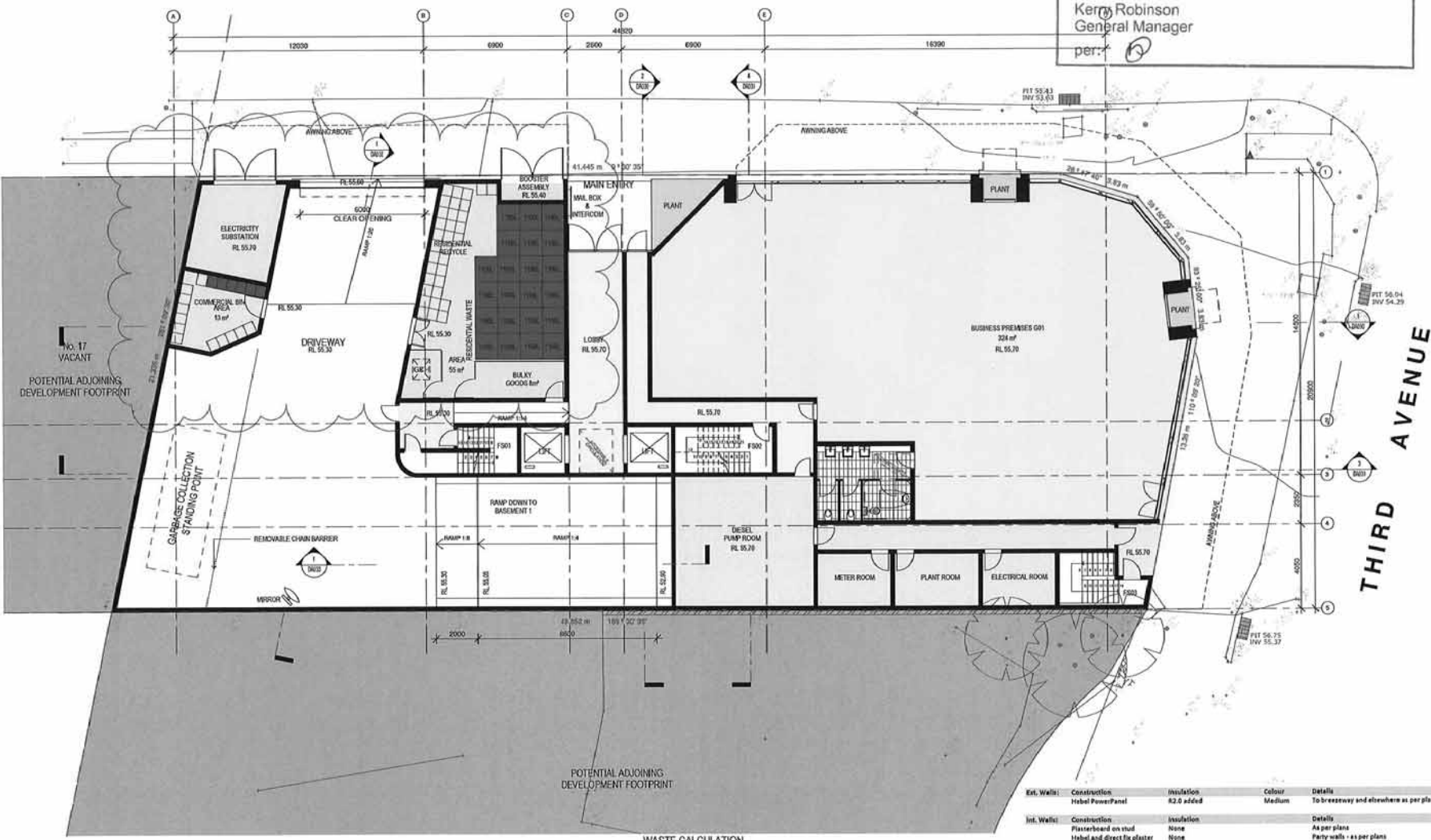
WASTE CALCULATION

	RATE OF WASTE	TOTAL WASTE	BIN SIZE	PROPOSED
RESIDENTIAL (BY UNITS)				
WASTE	240L/WEEK/UNIT	23280L/WEEK	1100L	21
RECYCLE	60L/WEEK/UNIT	7760L/WEEK	240L	32
PROPOSED TOTAL				53
COMMERCIAL (5 UNITS)				
WASTE	240L/WEEK/UNIT	660L/WEEK	110L	11
RECYCLE	240L/WEEK/UNIT	660L/WEEK	110L	11
PROPOSED TOTAL				22

■ GENERAL WASTE BIN ■ RECYCLE BIN

1 GROUND LEVEL

1:100 at A1 1:200 at A3



PRINCE STREET

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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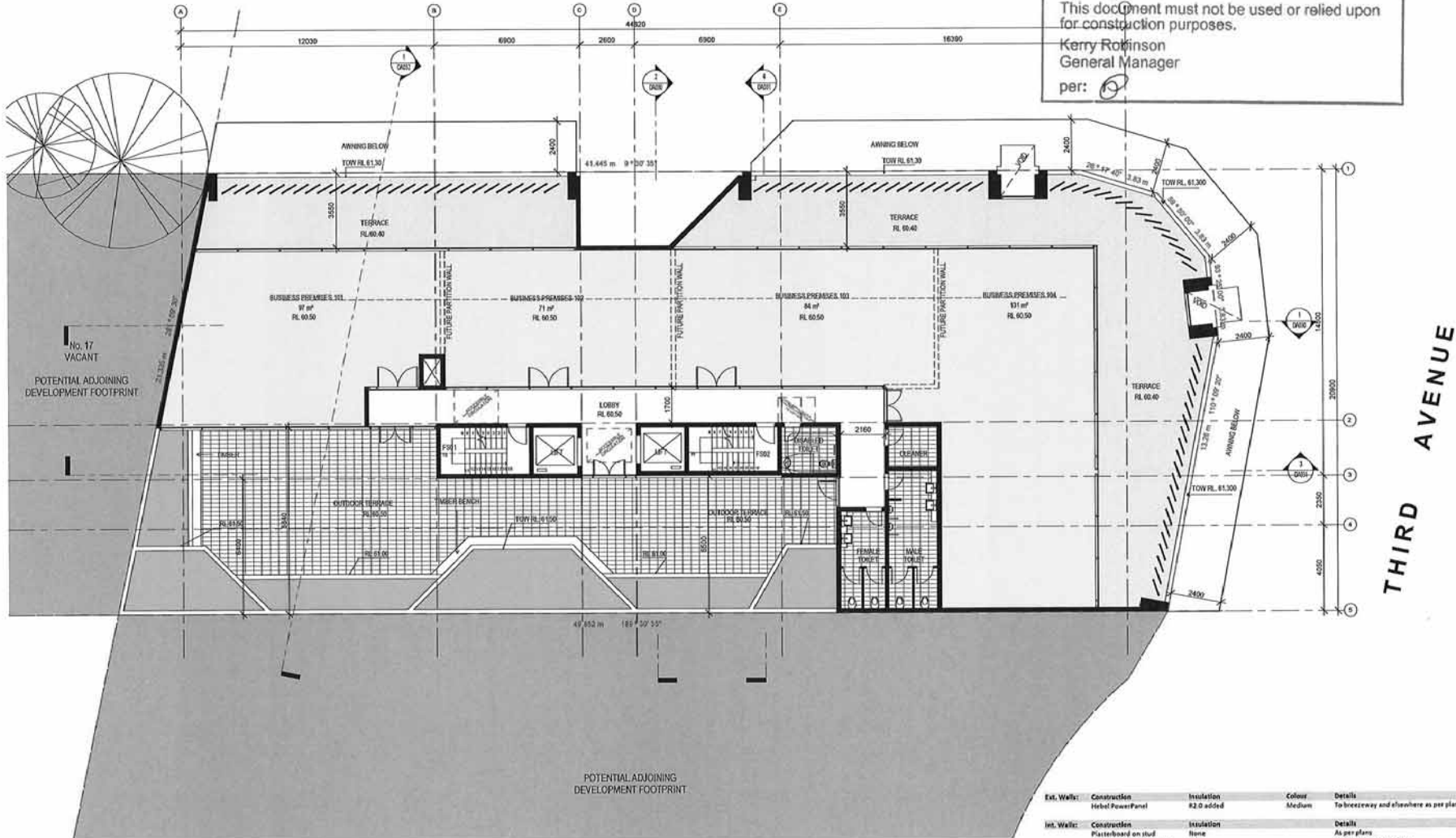
Kerry Robinson
General Manager

per:

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO THOSE NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

COLOUR LEGEND

- STUDIO
- 1 BED
- 1 BED+S
- 2 BED
- 2 BED+S
- LOBBY
- COMMERCIAL



Revision	Rev.	Date	Description
A	10.05.16	10.05.16	DA SUBMISSION
B	12.07.16	12.07.16	DA SUBMISSION
C	10.05.16	10.05.16	DA SUBMISSION

NOTES
All dimensions and details to be verified prior to construction.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
If in doubt - ASK.
All variations or discrepancies to be notified to the architect.



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date: 09/05/2016

project: MIXED USE DEVELOPMENT

16 THIRD AVENUE, BLACKTOWN

location: USA, BLACKTOWN

level: LEVEL 01 FLOOR PLAN

DA SUBMISSION

J14202 DA008 E

job no. drawing no. rev.

1 LEVEL 01

1:100 at A1 1:200 at A3

Ext. Walls:	Construction: Herbol Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Details: As per plans	
	Herbol and direct fix plaster	None	Details: Party walls - as per plans	
Floors:	Construction: Concrete	Insulation: R1.4 added	Details: Level 2 - Where open below	
Ceilings:	Construction: Plasterboard	Insulation: None	Details: As per plans	
Roof:	Construction: Concrete	Insulation: 60mm Anticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Glass: Single Clear	Frame: Aluminium	Details: As per plans
Other:	Orientation: 230	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

PRINCE STREET

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per:

RESIDENTIAL UNIT SCHEDULE-LEVEL 2

Room Name	Area	Number	Level
2 BED	75 m²	U201	LEVEL 02
2 BED	75 m²	U202	LEVEL 02
STUDIO	35 m²	U203	LEVEL 02
2 BED	76 m²	U204	LEVEL 02
1 BED	55 m²	U205	LEVEL 02
2 BED	80 m²	U206	LEVEL 02
2 BED	75 m²	U207	LEVEL 02
Total:	7		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING, LANDSCAPE ARCHITECTURE, FIRE PROTECTION, EXISTENTIAL ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT SQA REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CORRELATION AND ADDITIONAL REQUIREMENTS:

COLOR LEGEND

	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL

Revision	Date	Description
A	10/01/14	GA Submission
B	07/07/15	GENERAL AMENDMENTS
C	03/03/16	BUILDING POSITION AND FACADE AMENDMENTS
D	26/04/16	GENERAL AMENDMENTS

notes
All dimensions and sections to be verified prior to commencement
DO NOT SCALE measurements off drawings
Figures dimensions to be used at all times
P to COURT - ASK
All variations or discrepancies to be notified by the architect

scale
1:100 at A1 1:200 at A3

Project Architect
CHANINE DESIGN

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date
03/03/2016

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

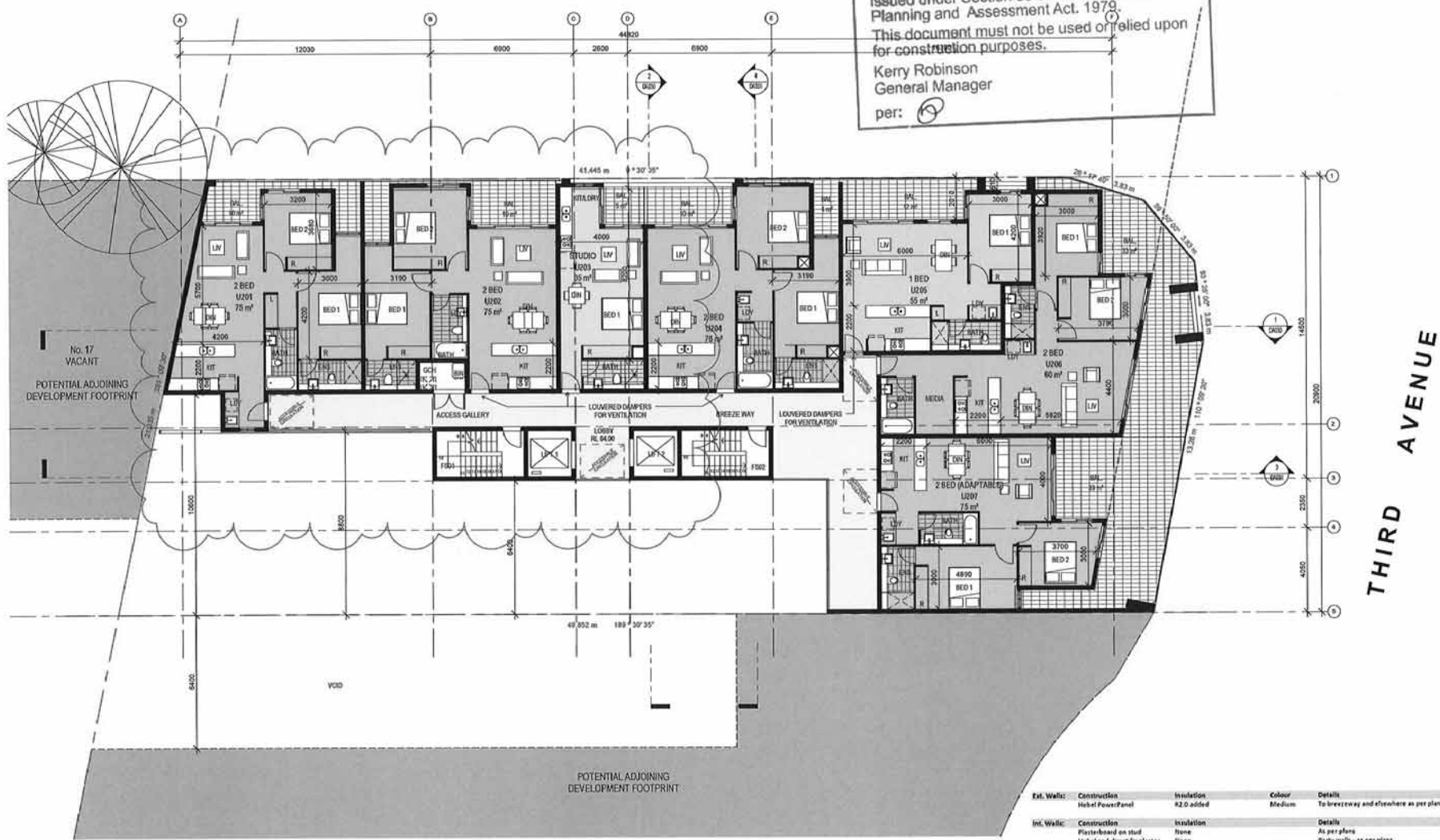
LGA: BLACKTOWN

LEVEL 02 FLOOR PLAN

DA SUBMISSION

J14202 DA009 F

job no. drawing no. rev.



1 LEVEL 02
1:100 at A1 1:200 at A3

Ext. Walls:	Construction: Helix Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans.
Int. Walls:	Construction: Plasterboard on stud Helix and direct fix plaster	Insulation: None	Details: As per plans	Partly walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Details: Level 2 - Where open below	
Ceilings:	Construction: Plasterboard	Insulation: None	Details: As per plans	
Roofs:	Construction: Concrete	Insulation: 60mm Acoustic (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALUM 002.01.A	Glass: Single Clear	Frame: Aluminium	Use/Type/Color: 6.70/0.70 As per plans
Other:	Orientation: 280	Terrain: Suburban	Weatherheads: Yes	Exhaust Dampers: Yes Recessed Downlights: No

PRINCE STREET

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

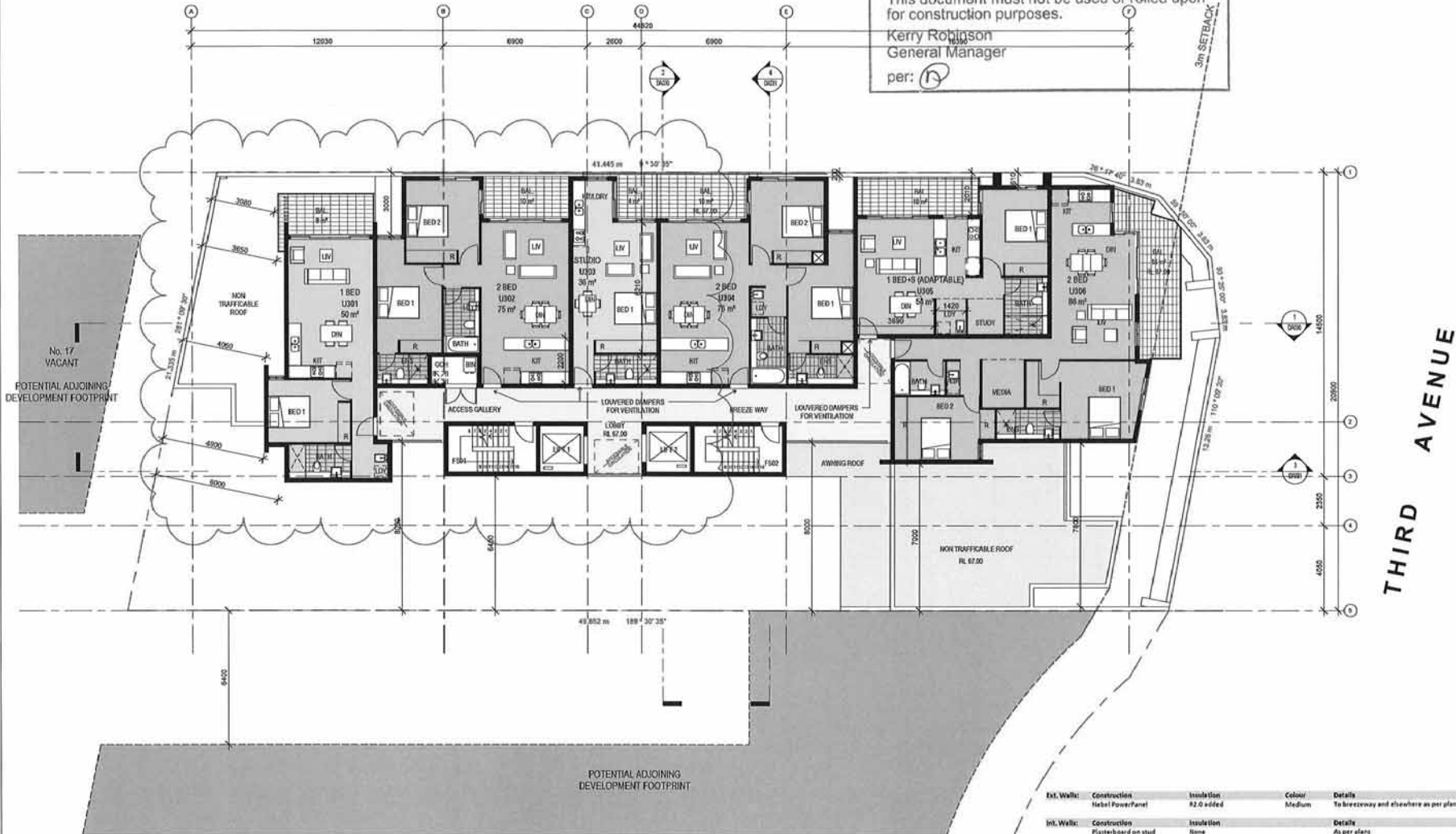
per: (15)

RESIDENTIAL UNIT SCHEDULE-LEVEL 3

Room Name	Area	Number	Level
1 BED	50 m²	U301	LEVEL 03
2 BED	75 m²	U302	LEVEL 03
STUDIO	36 m²	U303	LEVEL 03
2 BED	76 m²	U304	LEVEL 03
1 BED+S	54 m²	U305	LEVEL 03
2 BED	86 m²	U306	LEVEL 03
Total:	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL, ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, MECHANICAL AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

COLOUR LEGEND
STUDIO
1 BED
1 BED+S
2 BED
2 BED+S
LOBBY
COMMERCIAL



Revision	Date	Description
1	15/02/18	DA SUBMISSION
2	15/02/18	GENERAL AMENDMENTS
3	15/02/18	BUILDING POSITION AND FACADE AMENDMENTS
4	15/02/18	GENERAL AMENDMENTS

notes
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
IF IN DOUBT - ASK.
All dimensions or discrepancies to be notified to the architect.



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scale
0:00:00 to 1:00:00
1:00:00 to 2:00:00
2:00:00 to 3:00:00
3:00:00 to 4:00:00
4:00:00 to 5:00:00
5:00:00 to 6:00:00
6:00:00 to 7:00:00
7:00:00 to 8:00:00
8:00:00 to 9:00:00
9:00:00 to 10:00:00
10:00:00 to 11:00:00
11:00:00 to 12:00:00

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

client
LGA BLACKTOWN

drawing title
LEVEL 03 FLOOR PLAN

DA SUBMISSION

J14202 DA010 F

job no. drawing no. rev.

1 LEVEL 03
1:100 at A1 1:200 at A3

Ext. Walls:	Construction: Insulation: Colour: Details:	Insulation: R2.0 added Medium To breezeway and elsewhere as per plans
Int. Walls:	Construction: Insulation: Details:	Insulation: None None As per plans Plaster walls - as per plans
Floors:	Construction: Insulation: Details:	Construction: Concrete Insulation: R1.4 added Level 2 - Where open below
Ceilings:	Construction: Insulation: Details:	Construction: Plasterboard Insulation: None As per plans
Roof:	Construction: Insulation: Colour: Details:	Construction: Concrete Insulation: 60mm Arcon (R1.3) Colour: Medium As per plans
Windows:	Product ID: Glass: Frame: Unit/SHGC: Details:	Product ID: ALM-002-01-A Glass: Single Clear Frame: Aluminium Unit/SHGC: 6.70/0.70 As per plans
Others:	Orientation: Terrain: Weathereals: Exhaust Dampers: Recessed Downlights:	Orientation: 280 Terrain: Suburban Weathereals: Yes Exhaust Dampers: Yes Recessed Downlights: No

BLACKTOWN CITY COUNCIL Development Consent No. 15-00467

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This document must not be used or relied upon for construction purposes.

Kerry Robinson
General Manager
per:

PRINCE STREET

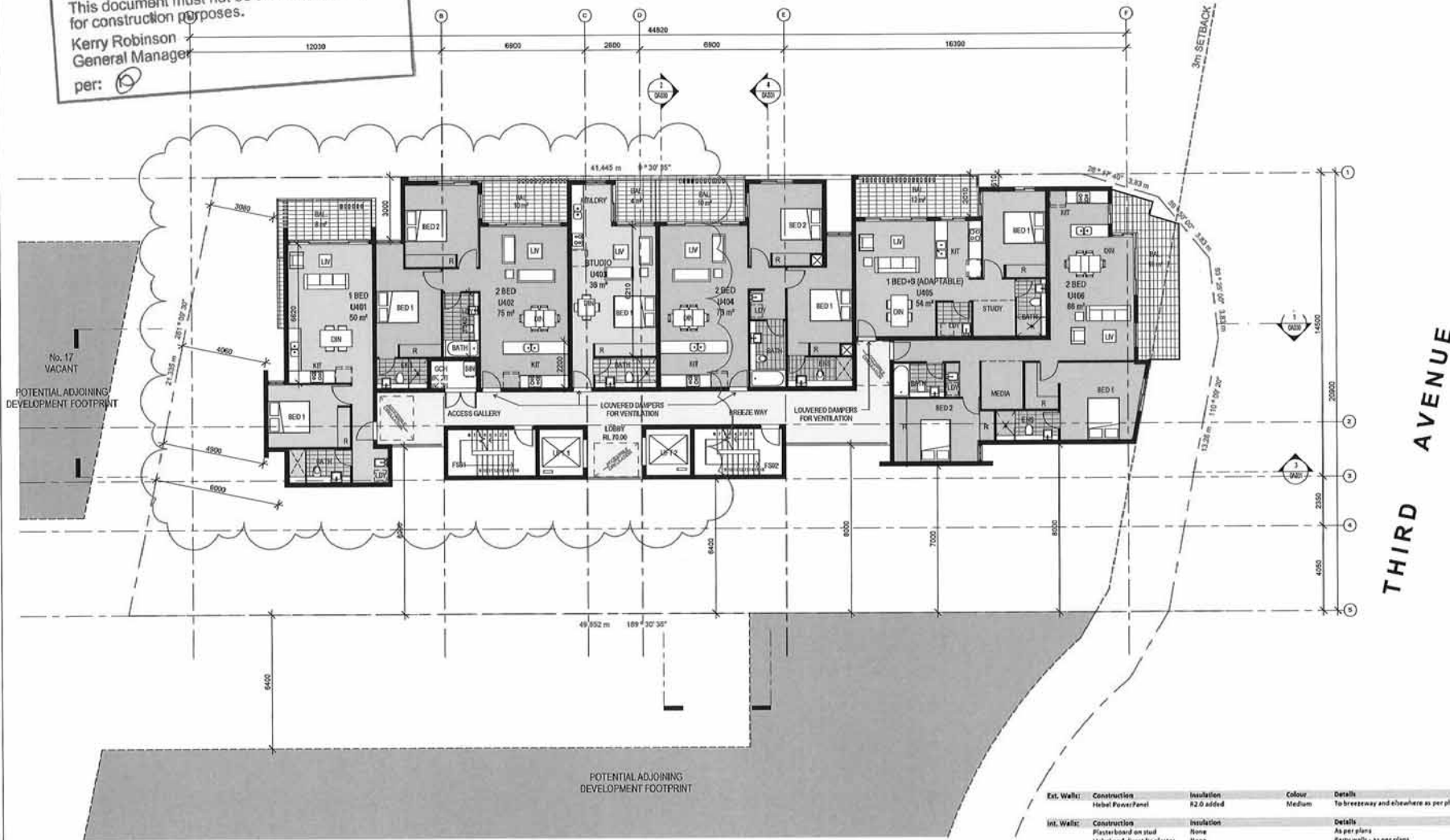
RESIDENTIAL UNIT SCHEDULE-LEVEL 4

Room Name	Area	Number	Level
1 BED	50 m²	U401	LEVEL 04
2 BED	75 m²	U402	LEVEL 04
STUDIO	36 m²	U403	LEVEL 04
2 BED	76 m²	U404	LEVEL 04
1 BED+S	54 m²	U405	LEVEL 04
2 BED	88 m²	U406	LEVEL 04
Total	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO THOSE NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

COLOR LEGEND

	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL



Revision	Rev.	Date	Description
A	10.03.14	10.03.14	GENERAL AGREEMENTS
B	10.03.14	10.03.14	BUILDING POSITION AND FACADE AGREEMENTS
C	10.03.14	10.03.14	GENERAL AGREEMENTS



note
All dimensions and details to be verified prior to construction.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P.D. 0001 - 0001
All revisions or discrepancies to be notified to the architect

scale
1:100 at A1 1:200 at A3

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date 03/03/2016

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LUA, BLACKTOWN

LEVEL 04 FLOOR PLAN

DA SUBMISSION

J14202 DA011 F

job no. drawing no. rev.

Ext. Walls:	Construction: Hebel Panel/Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plaster board on stud	Insulation: None	Colour: None	Details: As per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: None	Details: Level 2 - Where open below
Ceilings:	Construction: Plaster board	Insulation: None	Colour: None	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Andcon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALUM-002-01 A	Glass: Single Clear	Frame: Aluminium	U-value/SHGC: 6.70/0.70
Other:	Orientation: 250	Terrain: Suburban	Weatherseal: Yes	Exhaust Dampers: Yes

1 LEVEL 04

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per: 

PRINCE STREET

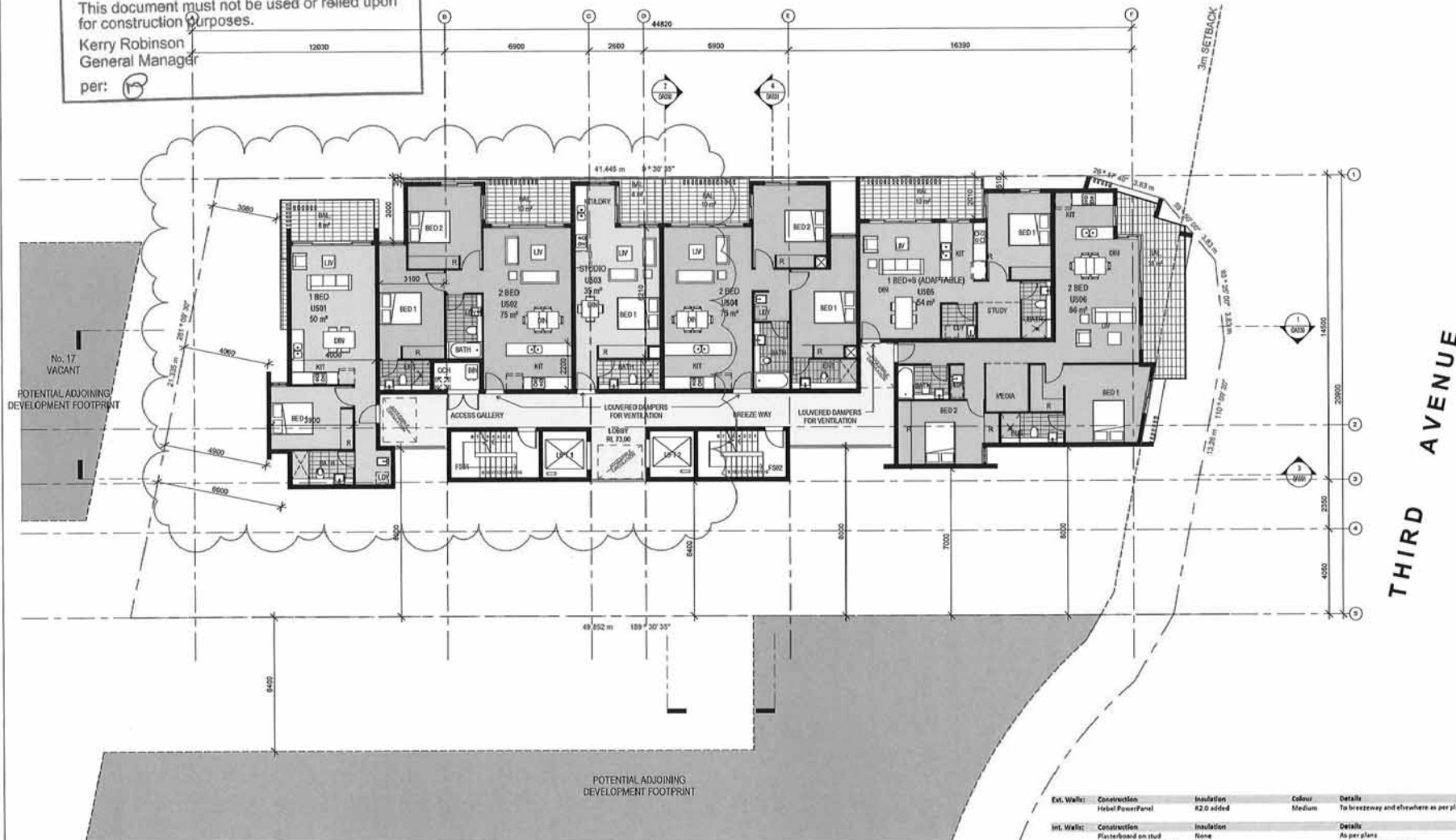
RESIDENTIAL UNIT SCHEDULE-LEVEL 5

Room Name	Area	Number	Level
1 BED	50 m²	U501	LEVEL 05
2 BED	75 m²	U502	LEVEL 05
STUDIO	35 m²	U503	LEVEL 05
2 BED	76 m²	U504	LEVEL 05
1 BED+S	54 m²	U505	LEVEL 05
2 BED	86 m²	U506	LEVEL 05
Total:	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION ENGINEERS, ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATE PLANS & REPORTS.
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REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

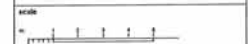
COLOUR LEGEND

	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL



Revision	Date	Description
A	10.05.14	OA Submission
B	20.07.15	GENERAL AMENDMENTS
C	03.08.15	EXTERNAL POSITION AND FACADE AMENDMENTS
D	28.08.15	GENERAL AMENDMENTS
E		
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X		
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Z		

note
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DO NOT SCALE dimensions and drawings.
Figures dimensions to be used at all times.
P to DO NOT - ASK.
All dimensions or discrepancies to be notified to the architect.



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date: 03/03/2015
drawn: RL

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LOA: BLACKTOWN
drawing title:

LEVEL 05 FLOOR PLAN

DA SUBMISSION

J14202 DA012 F

job no. drawing no. rev.

Ext. Walls:	Construction: Hebel Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud Hebel and direct fix plaster	Insulation: None	Colour: None	Details: As per plans Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: None	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: None	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Anticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Glass: Single Clear	Frame: Aluminum	Use/MSD/Cw: 6.70/0.70
Other:	Orientation: 230	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes Recessed Downlights: No

1 LEVEL 05

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per:

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 6

Room Name	Area	Number	Level
1 BED	50 m²	U001	LEVEL 06
2 BED	75 m²	U002	LEVEL 06
STUDIO	35 m²	U003	LEVEL 06
2 BED	76 m²	U004	LEVEL 06
1 BED+S	54 m²	U005	LEVEL 06
2 BED	86 m²	U006	LEVEL 06
Total:	6		

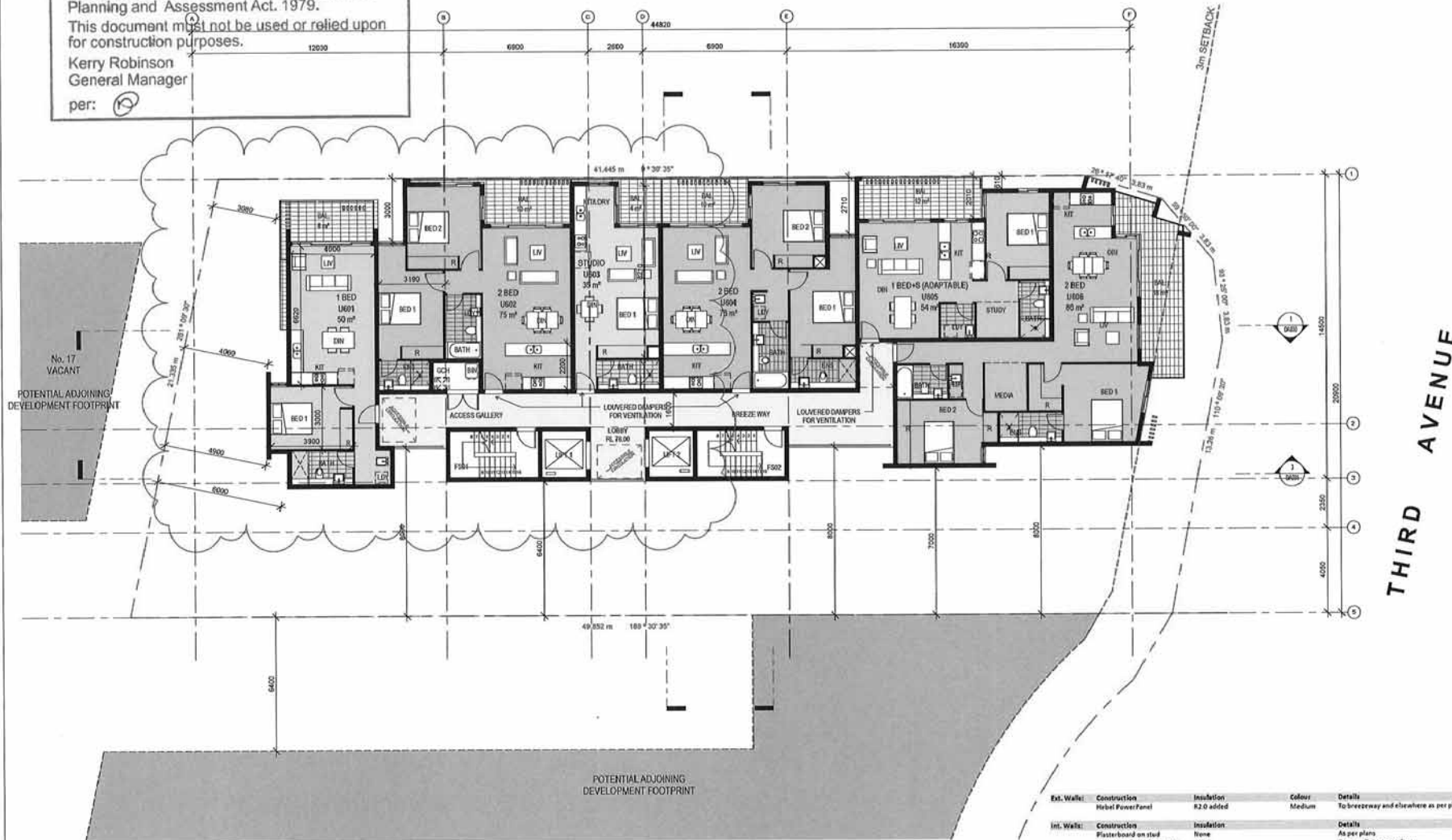
REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION ENGINEERS, ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.

REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS.

REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

COLOUR LEGEND

	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL



Revision	Date	Description
A	10.02.14	DA Submission
B	02.07.15	GENERAL AGREEMENTS
C	03.03.16	BUILDING POSITION AND FACADE AMENDMENTS
D	06.04.16	GENERAL AGREEMENTS



note
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P10 COBERT - 450R



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date
03/03/2016

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

location
LOA, BLACKTOWN

drawing title
LEVEL 06 FLOOR PLAN

DA SUBMISSION

J14202 DA013 F

job no. drawing no. rev.

Ext. Walls:	Construction: Metal Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: As per plans	Details: Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: Level 2 - Where open below	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Austicore (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Glass: Single Clear	Frame: Aluminium	U-value/SHGC: 6.70/0.70
Others:	Orientation: 250	Parade: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

1 LEVEL 06

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per:

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 7

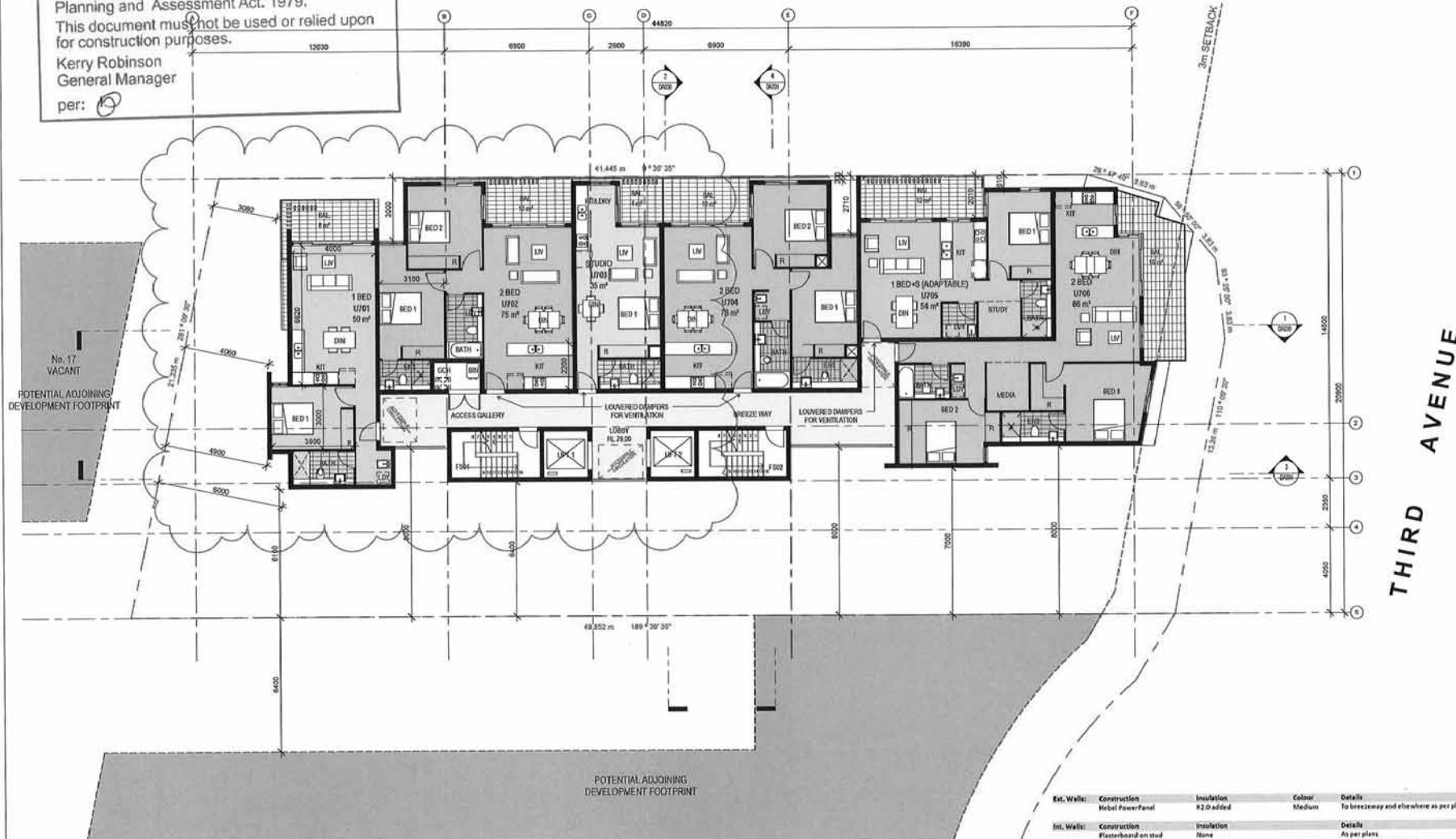
Room Name	Area	Number	Level
1 BED	50 m²	U701	LEVEL 07
2 BED	75 m²	U702	LEVEL 07
STUDIO	35 m²	U703	LEVEL 07
2 BED	76 m²	U704	LEVEL 07
1 BED+S	54 m²	U705	LEVEL 07
2 BED	86 m²	U706	LEVEL 07
Total	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.

REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO ONE'S NOTED ON PLANS.

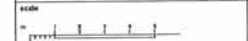
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFORMANCE AND ADDITIONAL REQUIREMENTS:

COLOUR LEGEND
STUDIO
1 BED
1 BED+S
2 BED
2 BED+S
LOBBY
COMMERCIAL



revision	Rev.	Date	Description
A	10/07/14	DA Submission	
B	10/07/15	GENERAL AMENDMENTS	
C	23/07/15	GENERAL AMENDMENTS	
E	03/05/16	WALL, DOOR, WINDOW AND FACADE AMENDMENTS	
F	26/04/16	GENERAL AMENDMENTS	

note
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE dimensions off drawings.
Figures dimensions to be used at all times.
If in doubt - ASH.
All sections or discrepancies to be notified to the architect.



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date 03/05/2016
drawn RL
project MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN
drawing title LEVEL 07 FLOOR PLAN

DA SUBMISSION
J14202
DA014
F
job no. drawing no. rev.

Ext. Walls:	Construction: Hobel PowerPanel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: None	Details: As per plans
	Hobel and direct fix plaster	None		Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: None	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: None	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Arcton (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product: ALM 002.01 A	Glass: Single Clear	Frame: Aluminium	Uvw/SHGCw: 6.70/0.70
Other:	Orientation: 210	Facade: Suburban	Wash/panels: Yes	Exhaust Dampers: Yes Recessed Downlights: No

1 LEVEL 07

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per:

PRINCE STREET

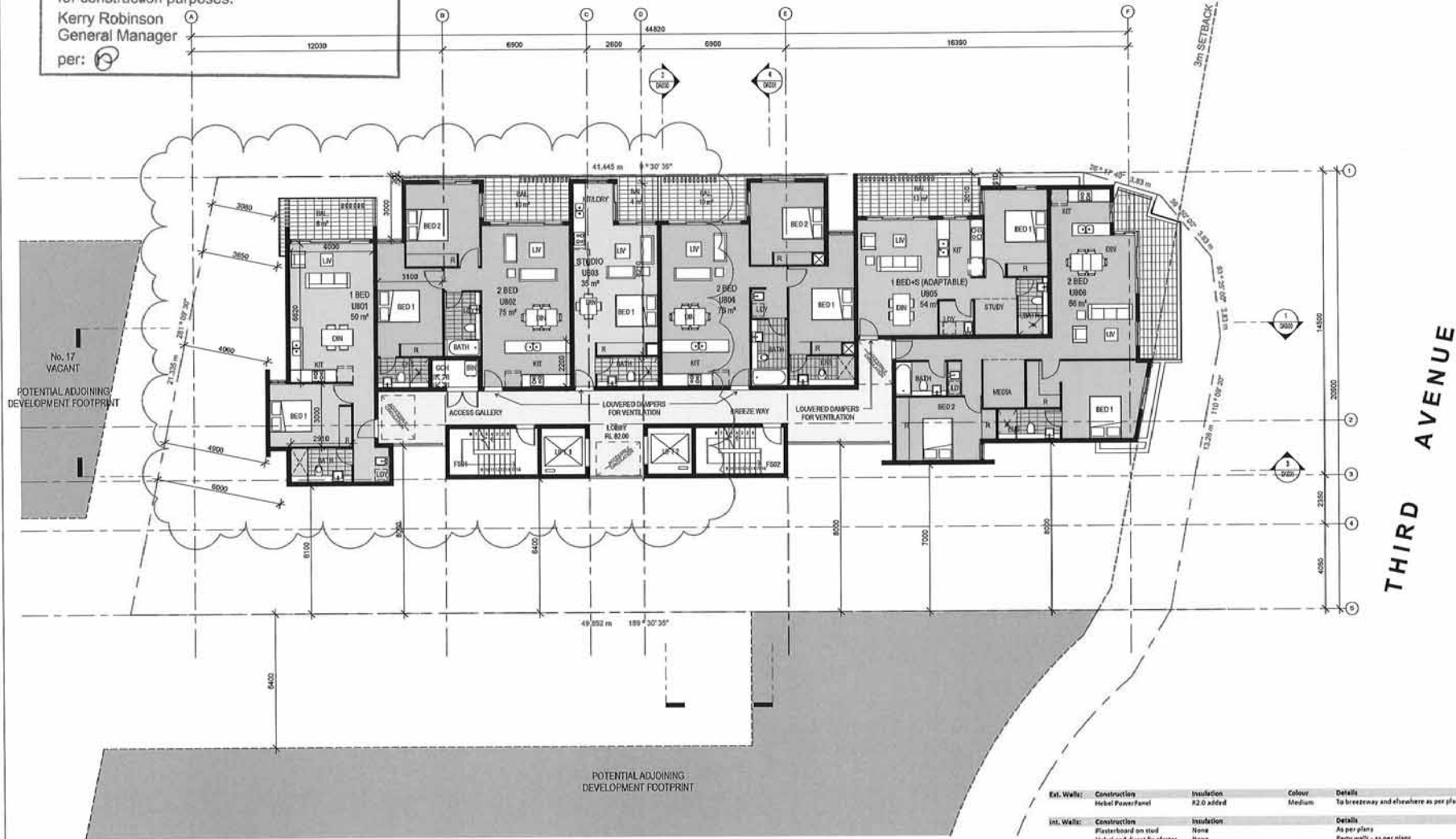
RESIDENTIAL UNIT SCHEDULE-LEVEL 0

Room Name	Area	Number	Level
1 BED	50 m²	U801	LEVEL 08
2 BED	75 m²	U802	LEVEL 08
STUDIO	35 m²	U803	LEVEL 08
2 BED	76 m²	U804	LEVEL 08
1 BED+S	54 m²	U805	LEVEL 08
2 BED	86 m²	U806	LEVEL 08
Total	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS
REFER TO CURRENT BASIX REPORT FOR ADDITIONAL REQUIREMENTS TO OTHER NOTED ON PLANS
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CORRELATION AND ADDITIONAL REQUIREMENTS:

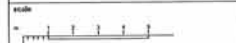
COLOUR LEGEND

	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL



Revision	Date	Description
A	10/05/15	DA Submission
B	10/05/15	CONCRETE AMENDMENTS
C	23/07/15	CONCRETE AMENDMENTS
D	01/08/15	BASE COLOUR POSITION AND FINISH AMENDMENTS
E	26/08/15	CONCRETE AMENDMENTS

notes
All dimensions and setbacks to be verified prior to construction
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Figures dimensions to be used at all times
If in doubt - ASK
All errors shown or discrepancies to be notified to the architect



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date
03/03/2016

project
MIXED USE DEVELOPMENT
10 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN

drawing title
LEVEL 08 FLOOR PLAN

DA SUBMISSION

J14202

DA015

job no.

rev.

Ext. Walls:	Construction	Insulation	Colour	Details
	Hebel Power Panel	R2.0 added	Medium	To breezeway and elsewhere as per plans
Int. Walls:	Construction	Insulation	Details	
	Plasterboard on stud	None		As per plans
	Hebel and direct fix plaster	None		Party walls - as per plans
Floors:	Construction	Insulation	Details	
	Concrete	R1.4 added		Level 2 - Where open below
Ceilings:	Construction	Insulation	Details	
	Plasterboard	None		As per plans
Roof:	Construction	Insulation	Colour	Details
	60mm Austroon (R1.3)		Medium	As per plans
Windows:	Product ID	Glass	Frame	Use/3MDCw
	ALM-002-01 A	Single Clear	Aluminium	6.70/0.70
Other:	Orientation	Termin	Weatherseals	Exhaust Dampers
	210	Suburban	Yes	Yes
				Recessed Downlights
				No

1 LEVEL 08

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL
Development Consent
 No. 15-00467

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Kerry Robinson
 General Manager

per: [Signature]

PRINCE STREET

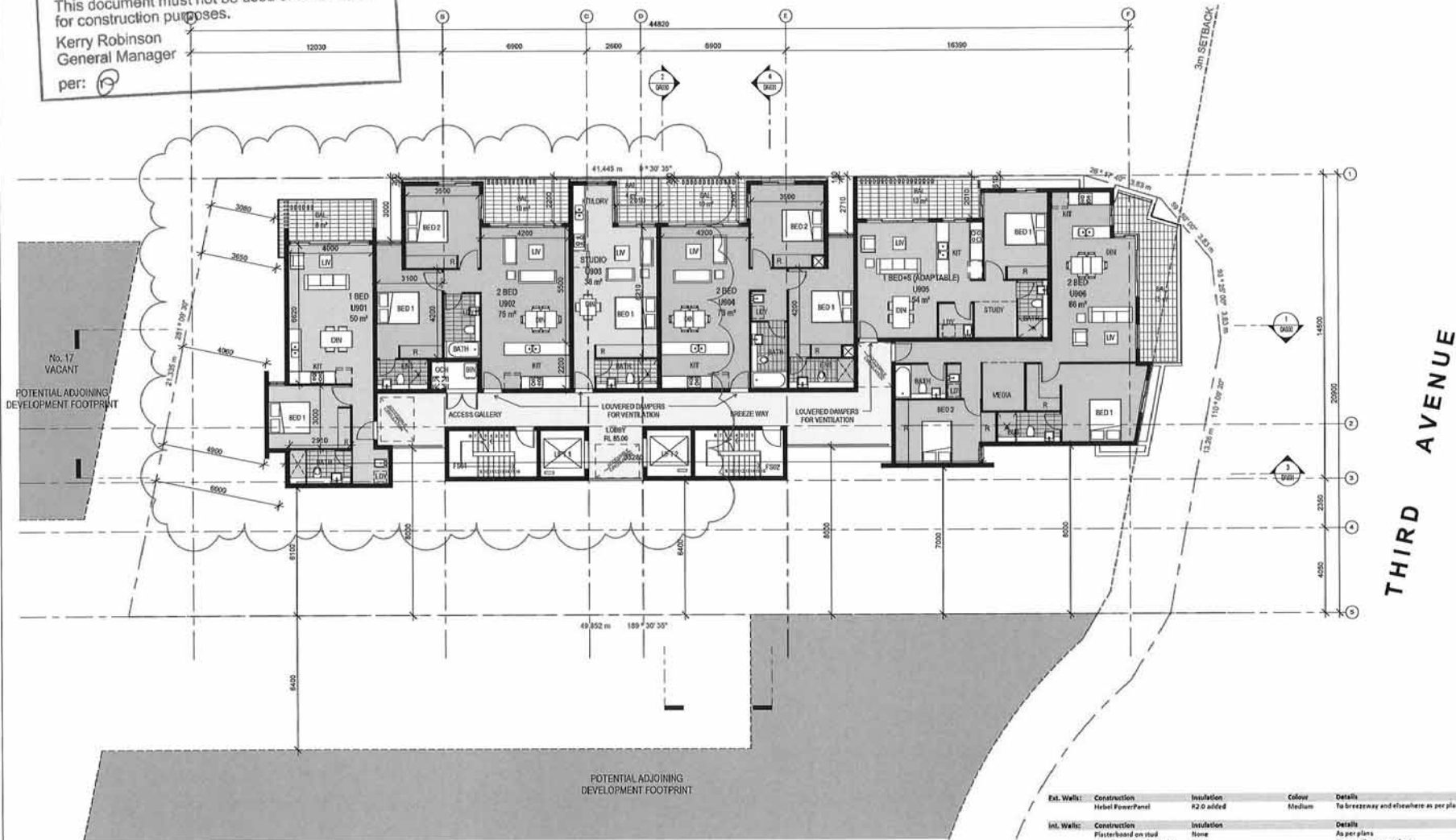
RESIDENTIAL UNIT SCHEDULE-LEVEL 9

Room Name	Area	Number	Level
1 BED	50 m²	U901	LEVEL 09
2 BED	75 m²	U902	LEVEL 09
STUDIO	36 m²	U903	LEVEL 09
2 BED	76 m²	U904	LEVEL 09
1 BED+S	54 m²	U905	LEVEL 09
2 BED	66 m²	U906	LEVEL 09
Total		6	

REFERENCES
 DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTIOAL, ELECTRICAL, SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
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COLOUR LEGEND

[Pattern]	STUDIO
[Pattern]	1 BED
[Pattern]	1 BED+S
[Pattern]	2 BED
[Pattern]	2 BED+S
[Pattern]	LOBBY
[Pattern]	COMMERCIAL



Revision	Rev.	Date	Description
A	10.03.14	DA Submission	
B	10.07.15	GENERAL AMENDMENTS	
C	23.07.15	GENERAL AMENDMENTS	
D	03.03.16	BUILDING POSITION AND FACADE AMENDMENTS	
E	26.06.16	GENERAL AMENDMENTS	



note
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date: 03/03/2016
 drawn: RL

project: MIXED USE DEVELOPMENT
 16 THIRD AVENUE, BLACKTOWN

location: BLACKTOWN

drawing title: LEVEL 09 FLOOR PLAN

DA SUBMISSION

J14202

DA016

sheet no. 1 of 1

Ext. Walls:	Construction: Helber Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: As per plans	Details: Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: Level 2 - Where open below	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Ardcon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Glass: Single Clear	Frame: Aluminium	U-value: 6.70/0.70
Other:	Orientation: 230	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes

1 LEVEL 09

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

This document forms part of the above approval issued under Section 80 of the Environmental Planning and Assessment Act, 1979.

This document must not be used or relied upon for construction purposes.

Kerry Robinson
General Manager
per:

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 10

Room Name	Area	Number	Level
1 BED	50 m²	U1001	LEVEL 10
2 BED	75 m²	U1002	LEVEL 10
STUDIO	35 m²	U1003	LEVEL 10
2 BED	76 m²	U1004	LEVEL 10
1 BED+S	54 m²	U1005	LEVEL 10
2 BED	86 m²	U1006	LEVEL 10
Total:	6		

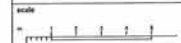
REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, MECHANICAL, PLUMBING AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO OTHER NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:
COLOR LEGEND
STUDIO
1 BED
1 BED+S
2 BED
2 BED+S
LOBBY
COMMERCIAL



Revision	Rev.	Date	Description
A	18.03.14	DA Submission	
B	10.07.15	GENERAL AMENDMENTS	
C	13.07.15	GENERAL AMENDMENTS	
D	10.08.15	BUILDING POSITION AND FACADE AMENDMENTS	
E	26.04.16	GENERAL AMENDMENTS	



NOTE
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used of all files.
P/S CORRY - ASSE
All omissions or discrepancies to be notified to the architect



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date: 05/03/2016 drawn: RL

project: MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN

drawing title: LEVEL 10 FLOOR PLAN

DA SUBMISSION

J14202 DA017 F

job no. drawing no. rev.

Ext. Walls:	Construction: Habot Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: As per plans	Details: Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: Level 2 - Where open below	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Anticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Class: Single Clear	Frame: Aluminium	U-value/WGC: 6.70/0.70
Others:	Orientation: 210	Termin: Suburban	Weatherseal: Yes	Exhaust Dampers: Yes
				Accessed Openings: No

LEVEL 10
1: 100

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per: [Signature]

PRINCE STREET

_RESIDENTIAL UNIT SCHEDULE-LEVEL 11

Room Name	Area	Number	Level
1 BED	50 m²	U1101	LEVEL 11
2 BED	75 m²	U1102	LEVEL 11
STUDIO	35 m²	U1103	LEVEL 11
2 BED	76 m²	U1104	LEVEL 11
1 BED+S	54 m²	U1105	LEVEL 11
2 BED	86 m²	U1106	LEVEL 11
Total	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL, ENGINEERING, STORMWATER, FLOODING, LANDSCAPE ARCHITECTS, FIRE PROTECTION, RESIDENTIAL ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO OTHER NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

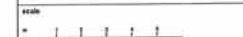
COLOR LEGEND

[Color Box]	STUDIO
[Color Box]	1 BED
[Color Box]	1 BED+S
[Color Box]	2 BED
[Color Box]	2 BED+S
[Color Box]	LOBBY
[Color Box]	COMMERCIAL



Revision	Date	Description
A	10/02/14	ISSUE FOR SUBMISSION
B	07/07/15	GENERAL AMENDMENTS
C	23/07/15	GENERAL AMENDMENTS
E	03/08/16	FINAL DESIGN PORTION AND FACADE AMENDMENTS
F	26/04/17	GENERAL AMENDMENTS

NOTES
All dimensions and details to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P to DOUBT - ASK.
All variations or discrepancies to be notified to the architect.



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Notwithstanding, Chanine Design 10/08, Adv: 10/01/00 001/014

Date: 05/05/2016
Drawn: RL

Project:
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN

Drawing Title:
LEVEL 11 FLOOR PLAN

DA SUBMISSION

J14202 DA018 F

Job no. Drawing no. Rev.

Ext. Walls:	Construction: Hebel Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Details: As per plans	
	Construction: Hebel and direct to plaster	Insulation: None	Details: Party walls - as per plans	
Floors:	Construction: Concrete	Insulation: R1.4 added	Details: Level 2 - Where open below	
Ceilings:	Construction: Plasterboard	Insulation: None	Details: As per plans	
Roof:	Construction: Concrete	Insulation: 60mm Ardcon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Glass: Single Clear	Frame: Aluminium	U-value/MSC: 6.70/0.70
Other:	Orientation: 210	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

1 LEVEL 11

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager
per:

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 12

Room Name	Area	Number	Level
1 BED	50 m²	U1201	LEVEL 12
2 BED	75 m²	U1202	LEVEL 12
STUDIO	35 m²	U1203	LEVEL 12
2 BED	76 m²	U1204	LEVEL 12
1 BED+S	54 m²	U1205	LEVEL 12
2 BED	86 m²	U1206	LEVEL 12
Total:	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL, ENGINEERING, STORMWATER, HYDROLOGICAL, LANDSCAPE ARCHITECTURE, FIRE PROTECTION, ELECTRICAL, MECHANICAL AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASE REPORT FOR ADDITIONAL REQUIREMENTS TO BE NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR COORDINATION AND ADDITIONAL REQUIREMENTS.

COLOR LEGEND

	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL



Revision	Date	Description
A	10/03/16	DA Submission
B	17/07/16	GENERAL AMENDMENTS
C	23/07/16	GENERAL AMENDMENTS
D	09/08/16	TRAILING POLYMER PHOTOGRAPHIC AMENDMENTS
E	26/04/18	GENERAL AMENDMENTS

NOTES
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
If in doubt - ASK.
All variations or discrepancies to be notified to the architect.



scale
1:100 at A1 1:200 at A3
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Date: 09/03/2016
Drawn: RL

PROJECT
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN

Drawing No: LEVEL 12 FLOOR PLAN

DA SUBMISSION

J14202 DA019 F

Job No. Drawing No.

Ext. Walls:	Construction: Hebel PowerPanel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans.
Int. Walls:	Construction: Plasterboard on stud Hebel and direct fix plaster	Insulation: None	Details: As per plans	Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Details: Level 2 - Where open below	
Ceilings:	Construction: Plasterboard	Insulation: None	Details: As per plans	
Roof:	Construction: Concrete	Insulation: 60mm Anticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Glass: Single Clear	Frame: Aluminum	Uw/M2/G: 6.78/0.70
Other:	Orientation: 230	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

1 LEVEL 12

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per:

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 13

Room Name	Area	Number	Level
1 BED	50 m²	U1301	LEVEL 13
2 BED	75 m²	U1302	LEVEL 13
STUDIO	36 m²	U1303	LEVEL 13
2 BED	76 m²	U1304	LEVEL 13
1 BED+S	54 m²	U1305	LEVEL 13
2 BED	86 m²	U1306	LEVEL 13
Total	6		

REFERENCES

DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO OTHER NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CORRELATION AND ADDITIONAL REQUIREMENTS:

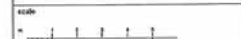
COLOR LEGEND

	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL



Revision	Date	Description
A	10.05.14	GA SUBMISSION
B	12.07.15	COLORIAL AMENDMENTS
C	13.07.15	GENERAL AMENDMENTS
D	13.07.15	TRAILING POSITION AND FACADE AMENDMENTS
E	26.04.16	GENERAL AMENDMENTS

notes
All dimensions and setbacks to be verified prior to construction.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
If in doubt - ASK.
All dimensions or discrepancies to be notified to the architect.



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Date: 03/09/2016
Drawn: RL

Project:
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN

Drawing title:
LEVEL 13 FLOOR PLAN

DA SUBMISSION

J14202 DA020 F

Job no. drawing no. rev.

Ext. Walls:	Construction: Metal Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: As per plans	Details: As per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: As per plans	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roofs:	Construction: Concrete	Insulation: 60mm Anticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALUM-002-01 A	Glass: Single Clear	Frame: Aluminum	Details: As per plans
Other:	Orientation: 280	Terrain: Suburban	Weathered: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

1 LEVEL 13

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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This document must not be used or relied upon for construction purposes.

Kerry Robinson
General Manager

per: [Signature]

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 14

Room Name	Area	Number	Level
1 BED	50 m²	U1401	LEVEL 14
2 BED	75 m²	U1402	LEVEL 14
STUDIO	36 m²	U1403	LEVEL 14
2 BED	76 m²	U1404	LEVEL 14
1 BED+S	54 m²	U1405	LEVEL 14
2 BED	86 m²	U1406	LEVEL 14
Total	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTIVE, ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIN REPORT FOR ADDITIONAL REQUIREMENTS TO ORES NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR COORDINATION AND ADDITIONAL REQUIREMENTS.

COLOR LEGEND

[Color Box]	STUDIO
[Color Box]	1 BED
[Color Box]	1 BED+S
[Color Box]	2 BED
[Color Box]	2 BED+S
[Color Box]	LOBBY
[Color Box]	COMMERCIAL



Revision	Date	Description
A	10.05.14	QA Submission
B	10.05.14	GENERAL AMENDMENTS
C	23.07.15	GENERAL AMENDMENTS
D	09.08.16	WALLS, POLYMER AND FACADE AMENDMENTS
E	28.04.16	GENERAL AMENDMENTS

NOTES
All dimensions and colours to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P/B: CHANINE DESIGN
All units shown or discrepancies to be notified to the architect.



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Date: 06/05/2016
Drawn: RL

PROJECT
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LSA: BLACKTOWN

LEVEL 14 FLOOR PLAN

DA SUBMISSION

J14202 DA021 F

Job no. Drawing no. rev.

Ext. Walls:	Construction: Hefel Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud Hefel and direct fix plaster	Insulation: None	Colour: None	Details: As per plans Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: None	Details: Level 2 - Where open below
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: None	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Anticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM 002-01 A	Glass: Single Clear	Frame: Aluminium	Uw/MSCw: 6.74/0.70 Details: As per plans
Other:	Orientation: 280	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes Recessed Downlights: No

1 LEVEL 14

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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This document must not be used or relied upon for construction purposes.

Kerry Robinson
General Manager
per:

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 15

Room Name	Area	Number	Level
1 BED	50 m ²	U1501	LEVEL 15
2 BED	75 m ²	U1502	LEVEL 15
STUDIO	36 m ²	U1503	LEVEL 15
2 BED	76 m ²	U1504	LEVEL 15
1 BED+S	54 m ²	U1505	LEVEL 15
2 BED	86 m ²	U1506	LEVEL 15
Total	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO OTHER NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONTINUATION AND ADDITIONAL REQUIREMENTS.

COLOUR LEGEND

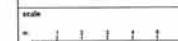
	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL



Revision	Date	Description
A	10.05.14	DA Submission
B	20.07.15	GENERAL AMENDMENTS
C	25.07.15	GENERAL AMENDMENTS
D	03.05.16	BUILDING PORTION AND FACADE AMENDMENTS
F	26.04.16	GENERAL AMENDMENTS



NOTE
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE dimensions and drawings.
Figures dimensions to be used at all times.
P to DOBBY - ADA.
All variations or discrepancies to be notified to the architect.



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Date: 03/05/2016
Drawn: RL

Project:
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LOAN: BLACKTOWN
Drawing Title:
LEVEL 15 FLOOR PLAN

DA SUBMISSION
J14202
DA022
F
Job No.
Drawing No.

Ext. Walls:	Construction: Helber Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud Helber and direct fix plaster	Insulation: None	Colour: As per plans	Details: Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: Level 2 - Where open below	Details: As per plans
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Asticore (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01.A	Glass: Single Clear	Frame: Aluminium	U-value: 6.70/0.79
Other:	Orientation: 280	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

1 LEVEL 15

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

This document forms part of the above approval issued under Section 80 of the Environmental Planning and Assessment Act, 1979.

This document must not be used or relied upon for construction purposes.

Kerry Robinson
General Manager

per:

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 16

Room Name	Area	Number	Level
1 BED	50 m²	U1601	LEVEL 16
2 BED	75 m²	U1602	LEVEL 16
STUDIO	36 m²	U1603	LEVEL 16
2 BED	76 m²	U1604	LEVEL 16
1 BED+S	54 m²	U1606	LEVEL 16
2 BED	86 m²	U1607	LEVEL 16
Total	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STRUCTURAL ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIN REPORT FOR ADDITIONAL REQUIREMENTS TO GREEN NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS.

COLOR LEGEND

	STUDIO
	1 BED
	1 BED+S
	2 BED
	2 BED+S
	LOBBY
	COMMERCIAL



Revision	Rev.	Date	Description
A	10.03.14	10.03.14	GENERAL AMENDMENTS
B	10.03.14	10.03.14	GENERAL AMENDMENTS
C	10.03.14	10.03.14	GENERAL AMENDMENTS
D	10.03.14	10.03.14	GENERAL AMENDMENTS
E	10.03.14	10.03.14	GENERAL AMENDMENTS
F	10.03.14	10.03.14	GENERAL AMENDMENTS

note
All dimensions and details to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P.D. DUBOY - ASK
All omissions or discrepancies to be notified to the architect



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Date: 03/03/2016
Drawn: RL

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

client
LGA, BLACKTOWN

LEVEL 16 FLOOR PLAN

DA SUBMISSION
J14202

DA023
J14202

job no. drawing no. rev.

Ext. Walls:	Construction: Hebel Panel/Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: As per plans	Details: Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: Level 2 - Where open below	Details: As per plans
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Ansticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Glass: Single Clear	Frame: Aluminium	U-value/MSCW: 6.70/0.70
Other:	Orientation: 210	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes
				Recessed Downlights: No

1 LEVEL 16

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

This document forms part of the above approval issued under Section 80 of the Environmental Planning and Assessment Act, 1979.

This document must not be used or relied upon for construction purposes.

Kerry Robinson
General Manager

per:

PRINCE STREET

RESIDENTIAL UNIT SCHEDULE-LEVEL 17

Room Name	Area	Number	Level
1 BED	50 m²	U1701	LEVEL 17
2 BED	75 m²	U1702	LEVEL 17
STUDIO	36 m²	U1703	LEVEL 17
2 BED	76 m²	U1704	LEVEL 17
1 BED+S	54 m²	U1705	LEVEL 17
2 BED	86 m²	U1706	LEVEL 17
Total	6		

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTORS, ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO ORDER NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR COORDINATION AND ADDITIONAL REQUIREMENTS:

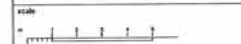
COLOUR LEGEND

STUDIO
1 BED
1 BED+S
2 BED
2 BED+S
LOBBY
COMMERCIAL



Revision	Date	Description
A	10/01/14	ON SUBMISSION
B	10/01/15	GENERAL AMENDMENTS
C	11/01/15	GENERAL AMENDMENTS
D	10/01/16	FINALISED POSITION AND FACADE AMENDMENTS
E	26/04/16	GENERAL AMENDMENTS

NOTES
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
IF IN DOUBT - ASK.
All dimensions or discrepancies to be notified to the architect.



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Date: 03/05/2016
Drawn: RL

Project:
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

Drawing title:
LEVEL 17 FLOOR PLAN

DA SUBMISSION

J14202 DA024 F

Job no. Drawing no. rev.

1 LEVEL 17

1:100 at A1 1:200 at A3

Ext. Walls:	Construction: Helix Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans.
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Details: As per plans	Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Details: Level 2 - Where open below	
Ceilings:	Construction: Plasterboard	Insulation: None	Details: As per plans	
Roof:	Construction: Concrete	Insulation: 60mm Ansticon (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM 002-01 A	Glass: Single Clear	Frame: Aluminium	Use/MS/Cw: 6.30/0.70 As per plans
Other:	Orientation: 230	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes Recessed Downlights: No

BLACKTOWN CITY COUNCIL Development Consent

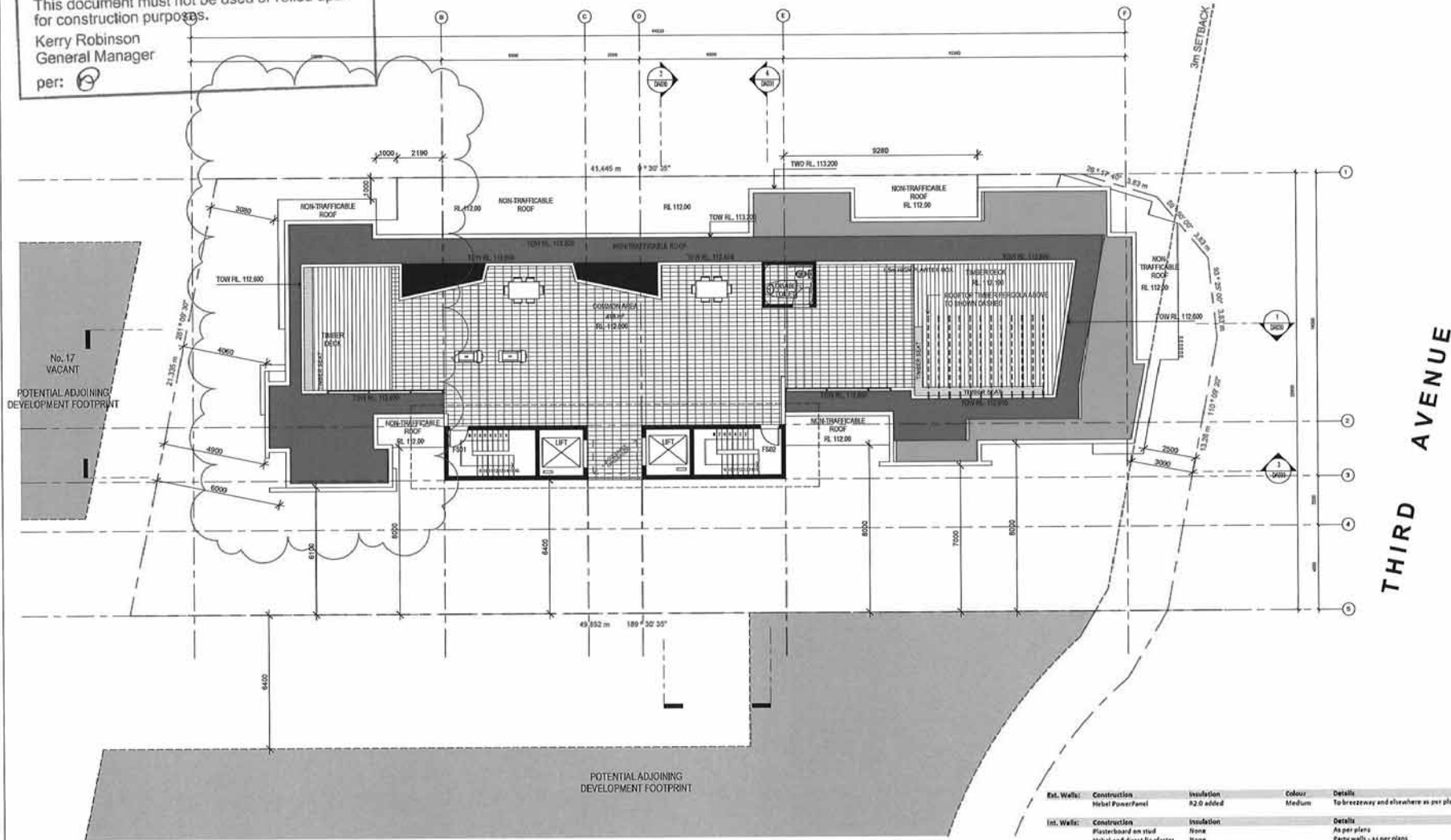
No. 15-00467

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Kerry Robinson
General Manager
per:

PRINCE STREET

- PLANTING CAPABLE OF GROWING TO A HEIGHT OF 0.5m
- PLANTING CAPABLE OF GROWING TO A HEIGHT OF 1.5m
- PLANTING CAPABLE OF GROWING TO A HEIGHT OF 2m

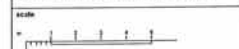


REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL, ENGINEERING, STORMWATER, ROADSIDE, LANDSCAPE ARCHITECTURE, FIRE PROTECTION, ELECTRICAL, MECHANICAL, PLUMBING AND MECHANICAL, SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO THOSE NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

Revision	Date	Description
A	10/01/14	DA Submission
B	07/07/15	GENERAL AMENDMENTS
C	23/07/15	GENERAL AMENDMENTS
D	30/08/15	BUILDING POLICY AND FACADE AMENDMENTS
E	16/04/16	GENERAL AMENDMENTS



NOTE:
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P is DIMENSION - ASK.
All units shown or discrepancies to be notified to the architect.



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date: 03/03/2015
drawn: RL

MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

drawing title:
ROOF TERRACE PLAN

DA SUBMISSION
J14202
DA025
F

Ext. Walls:	Construction: Helix Power Panel	Insulation: R2.0 added	Colour: Medium	Details: To breezeway and elsewhere as per plans
Int. Walls:	Construction: Plasterboard on stud	Insulation: None	Colour: As per plans	Details: Party walls - as per plans
Floors:	Construction: Concrete	Insulation: R1.4 added	Colour: Level 2 - Where open below	Details: As per plans
Ceilings:	Construction: Plasterboard	Insulation: None	Colour: As per plans	Details: As per plans
Roof:	Construction: Concrete	Insulation: 60mm Austtherm (R1.3)	Colour: Medium	Details: As per plans
Windows:	Product ID: ALM-002-01 A	Glass: Single Clear	Frame: Aluminium	Use/HSC: 6.70/0.70
Other:	Orientation: 210	Terrain: Suburban	Weatherseals: Yes	Exhaust Dampers: Yes

1 ROOF TERRACE PLAN
1:100 at A1 1:200 at A3

No. 15-00467

This document must not be used or relied upon for construction purposes.

Kerry Robinson
General Manager

per: 19

PRINCE STREET

 PLANTING CAPABLE OF GROWING TO A HEIGHT OF 0.5m
 PLANTING CAPABLE OF GROWING TO A HEIGHT OF 1.5m
 PLANTING CAPABLE OF GROWING TO A HEIGHT OF 2m

REFERENCES

DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ESSENTIAL ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS

REFER TO CURRENT BASIC REPORT FOR ADDITIONAL REQUIREMENTS TO NOTES OND ON PLANS

REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

No. 17
VACANT

POTENTIAL ADJOINING
DEVELOPMENT FOOTPRINT

THIRD AVENUE

POTENTIAL ADJOINING
DEVELOPMENT FOOTPRINT

[illegible]

Notes
All dimensions and setbacks to be verified prior to construction.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
IF IN DOUBT - ASK.
All omissions or discrepancies to be notified to the architect.

scale

m

Project Architect
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DESIGN**

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Association of Architects, South Gloucestershire AGS, 4601, 76 007 430 774

Date	03/03/2018
Page	01

project
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN

ROOF PLAN

DA SUBMISSION

J14202

DA026

Le

1 ROOF PLAN

1:100 at A1 1:200 at A3

BLACKTOWN CITY COUNCIL Development Consent

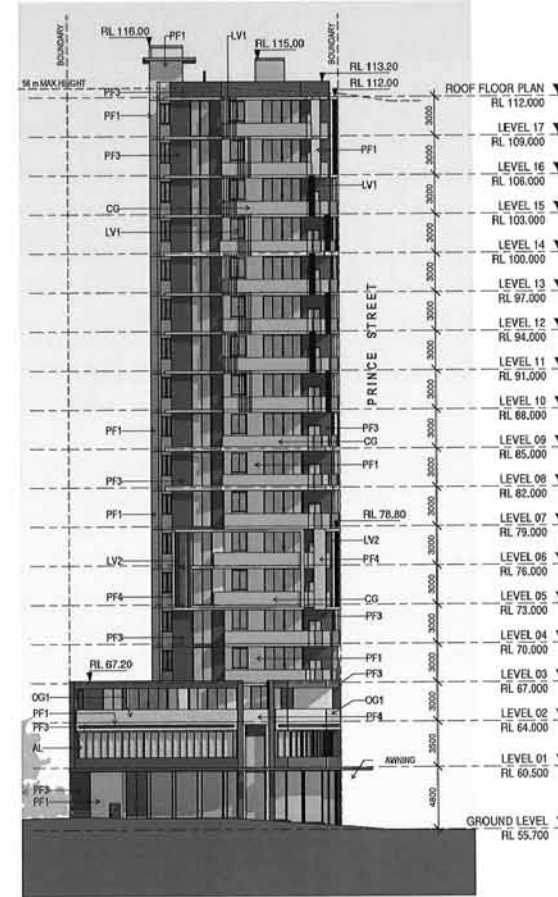
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Kerry Robinson
General Manager

per: 



Ext. Walls:	Construction	Insulation	Colour	Details	
	Hebel PowerPanel	R2.0 added	Medium	To breezeway and elsewhere as per plans	
Int. Walls:	Construction	Insulation		Details	
	Plasterboard on stud Hebel and direct fix plaster	None None		As per plans Party walls - as per plans	
Floors:	Construction	Insulation		Details	
	Concrete	R1.4 added		Level 2 - Where open below	
Ceilings:	Construction	Insulation		Details	
	Plasterboard	None		As per plans	
Roof:	Construction	Insulation	Colour	Details	
	Concrete	60mm Anticon (R1.3)	Medium	As per plans	
Windows:	Product ID	Glass	Frame	Uw/SHGCw	Details
	ALM-002-01 A	Single Clear	Aluminium	6.70/0.70	As per plans
Other:	Orientation	Tenants	Weatherstrips	Exhaust Dampers	Recessed Downlights
	280	Suburban	Yes	Yes	No

REFERENCES

DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL, ENGINEERS, EROSION/STABILISATION, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, MECHANICAL, PLUMBING AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.

REFER TO CURRENT BASE REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS.

REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONSTRUCTION AND ADDITIONAL REQUIREMENTS:

MATERIAL SCHEDULE

- PF1 RENDERED FINISH TYPE A MANGROVE - DULUX
- PF2 RENDERED FINISH TYPE B GREY PAUL PG1A3 - DULUX
- PF3 RENDERED FINISH TYPE C WAYWARD GREY PG1G8 - DULUX
- PF4 RENDERED FINISH TYPE D WAYWARD P1095 - DULUX
- LV1 VERTICAL LOANES MONUMENT - COLORBOND
- LV2 VERTICAL LOANES SURFMIT - COLORBOND
- OG1 OPAQUE GLAZING BALUSTRADE
- CG CLEAR GLAZING BALUSTRADE
- AL ALUMINIUM WINDOW FRAME (SHALE GREY - COLORBOND)

Revision	Rev.	Date	Description
A	10.02.14		GENERAL AMENDMENTS
B	12.04.15		GENERAL AMENDMENTS
C	13.07.15		GENERAL AMENDMENTS
D	13.07.15		GENERAL AMENDMENTS
E	13.07.15		GENERAL AMENDMENTS
F	13.07.15		GENERAL AMENDMENTS
G	13.07.15		GENERAL AMENDMENTS
H	13.07.15		GENERAL AMENDMENTS

Notes:
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
If in doubt - ASK.
All revisions or discrepancies to be notified to the architect.

Scale: 1:200

Project Architect:
CHANINE DESIGN

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Drawn by: 

Project:
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

Location:
BLACKTOWN

Drawing title:
ELEVATIONS - SHEET 1

DA SUBMISSION

J14202 DA027 H

Job no.  rev.

BLACKTOWN CITY COUNCIL Development Consent

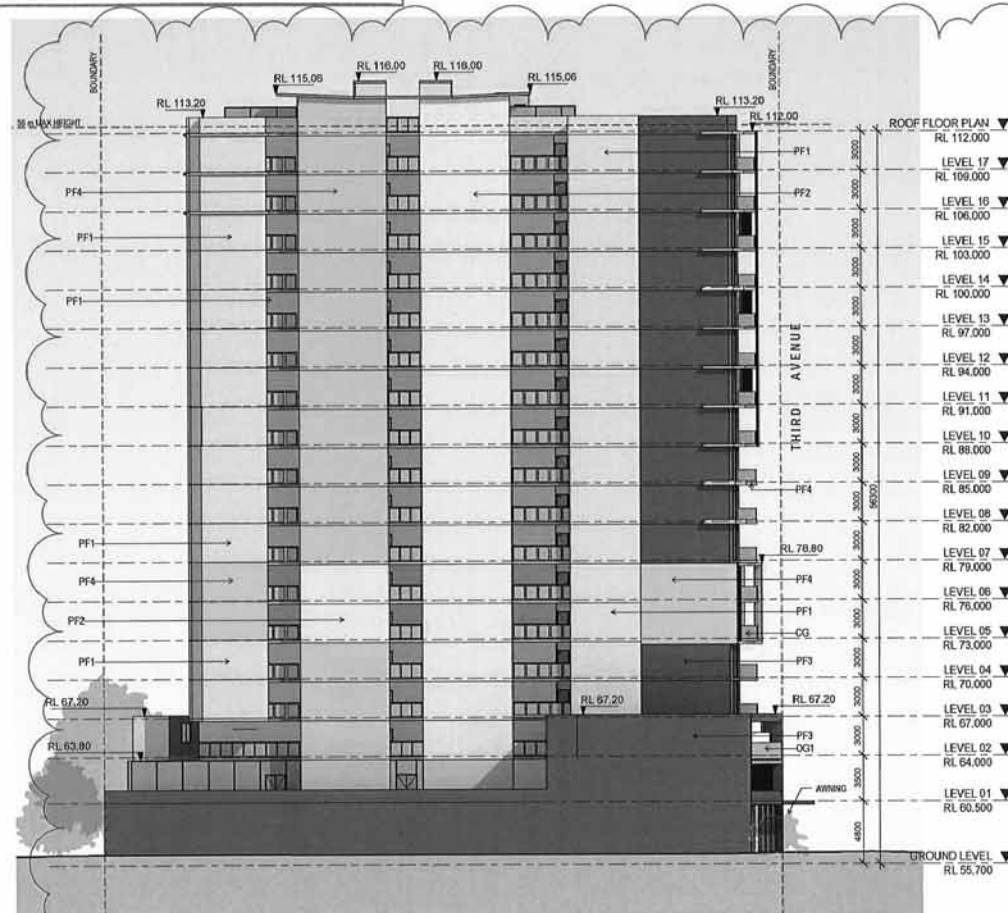
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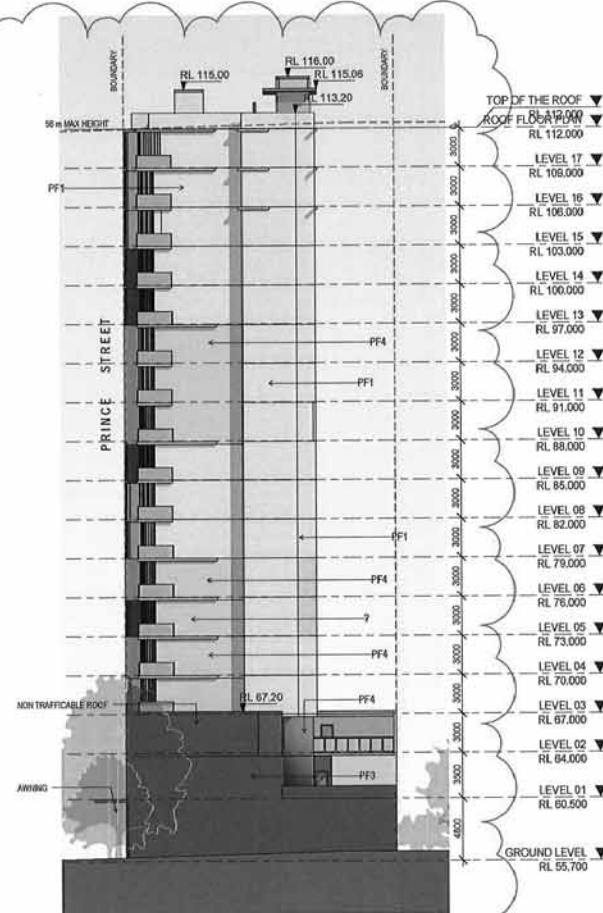
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Kerry Robinson
General Manager

per: 



1 EAST ELEVATION
1:200 at A1 1:400 at A3



2 SOUTH-ELEVATION
1:200 at A1 1:400 at A3

Ext. Walls:	Construction	Insulation	Colour	Details
	Label FourPanel	R1.0 added	Medium	To breezeway and elsewhere as per plans
Int. Walls:	Construction	Insulation		Details
	Plasterboard on stud	None		As per plans
	Label and direct fix plaster	None		Party walls - as per plans
Floors:	Construction	Insulation		Details
	Concrete	R1.4 added		Level 2 - Where open below
Ceilings:	Construction	Insulation		Details
	Plasterboard	None		As per plans
Roof:	Construction	Insulation	Colour	Details
	Concrete	60mm Andcon (R1.1)	Medium	As per plans
Windows:	Product ID	Glass	Frame	Uw/ShGCw
	ALM 002-01 A	Single Clear	aluminium	6.70/0.70
Others:	Orientation	Terrain	Weatherseals	Exhaust Dampers
	280	Suburban	Yes	Yes
				Recessed Downlights
				No

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL, ENGINEERS, STORMWATER, FLOODING, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ELECTRICAL, SERVICES AND MECHANICAL, SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS.
REFER TO CURRENT BASIX REPORT FOR ADDITIONAL REQUIREMENTS TO ORES NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

MATERIAL SCHEDULE

- PF1 RENDERED FINISH TYPE A MONOBLUR - DULUX
- PF2 RENDERED FINISH TYPE B GREY PA1, PG11 - DULUX
- PF3 RENDERED FINISH TYPE C WAYWARD GREY PG18 - DULUX
- PF4 RENDERED FINISH TYPE D WAYWARD PPS15 - DULUX
- L11 VERTICAL LOUVER MONUMENT - COLORBOND
- L12 VERTICAL LOUVER SURFMET - COLORBOND
- CG1 OPAQUE GLAZING BALUSTRADE
- CG2 CLEAR GLAZING BALUSTRADE
- AL ALUMINUM WINDOW FRAME (SHALE GREY - COLORBOND)

Revision	Rev.	Date	Description
A	1	10/07/15	DA Submission
B	2	10/07/15	GENERAL AMENDMENTS
C	3	13/07/15	GENERAL AMENDMENTS
D	4	10/08/15	BUILDING POSITION AND KANAKA AMENDMENTS
E	5	10/08/15	GENERAL AMENDMENTS

NOTES
All dimensions and setbacks to be verified prior to commencement.
DO NOT SCALE measurements off drawings.
Figures dimensions to be used at all times.
P1 IN SOUTHERN ASIS.
All dimensions or discrepancies to be notified to the architect.



Project Architect
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Drawn: 03/09/16
Checked: RL

MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA, BLACKTOWN
Drawing title:
ELEVATIONS - SHEET 2

DA SUBMISSION
J14202
DA028
F
job no. drawing no. rev.



1 STREETSCAPE ALONG PRINCE STREET

1:200 at A1 1:400 at A3

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

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General Manager

per:

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REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO ORDER NOTED ON PLANS
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS:

Revision	Date	Description
A	10/01/14	DA Submission
B	27/07/15	GENERAL AMENDMENTS
C	23/07/15	GENERAL AMENDMENTS
D	03/08/16	TRAIL END POSITION AND FACADE AMENDMENTS
E	26/04/16	GENERAL AMENDMENTS

Notes
All dimensions and setbacks to be verified prior to commencement
DO NOT SCALE measurements off drawings
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1:200

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Date: 03/05/2015 Drawn: RL

MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA: BLACKTOWN
Drawing Title: STREETSCAPE

DA SUBMISSION
J14202 DA029 F
Job no. drawing no. rev.

BLACKTOWN CITY COUNCIL Development Consent

No. 15-00467

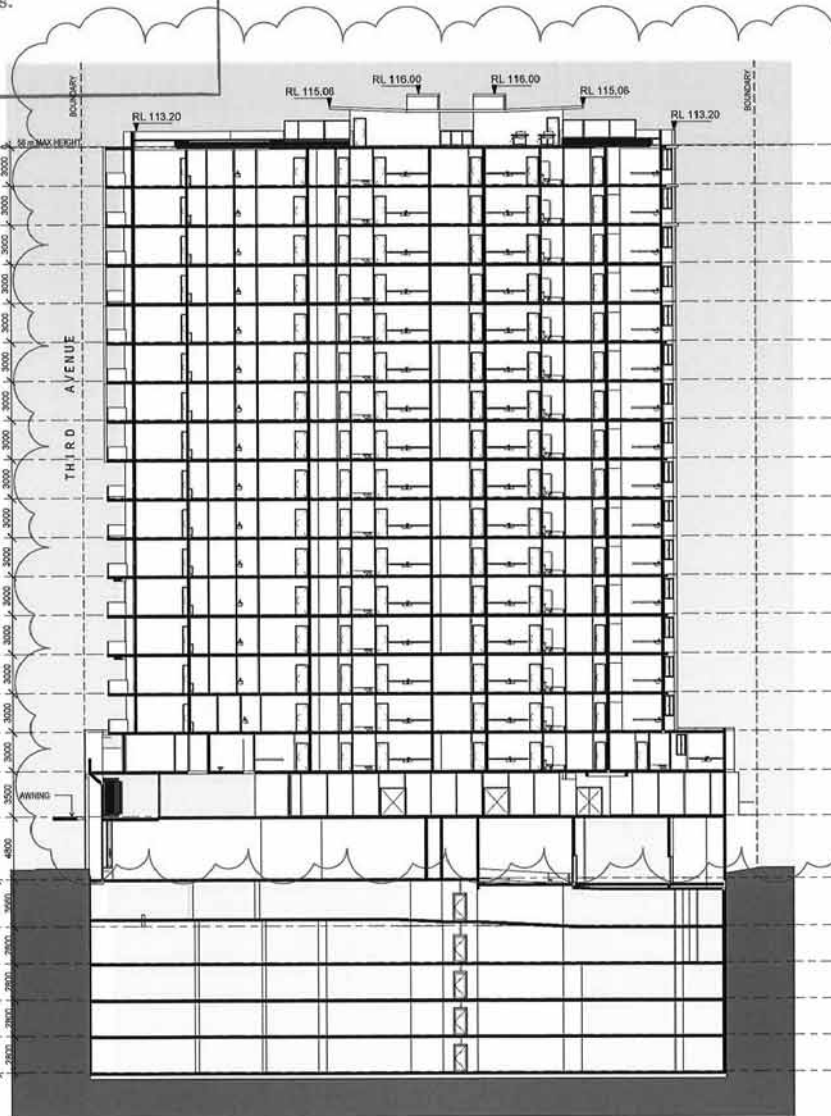
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General Manager

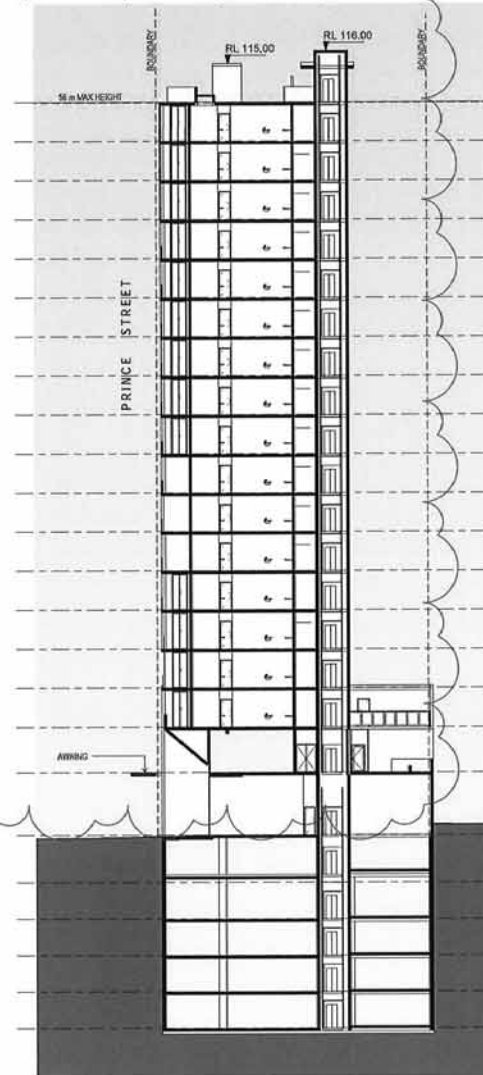
per: 

- ▼ TOP OF THE ROOF
RL 112.000
- ▼ ROOF FLOOR PLAN
RL 112.000
- ▼ LEVEL 17
RL 109.000
- ▼ LEVEL 16
RL 106.000
- ▼ LEVEL 15
RL 103.000
- ▼ LEVEL 14
RL 100.000
- ▼ LEVEL 13
RL 97.000
- ▼ LEVEL 12
RL 94.000
- ▼ LEVEL 11
RL 91.000
- ▼ LEVEL 10
RL 88.000
- ▼ LEVEL 09
RL 85.000
- ▼ LEVEL 08
RL 82.000
- ▼ LEVEL 07
RL 79.000
- ▼ LEVEL 06
RL 76.000
- ▼ LEVEL 05
RL 73.000
- ▼ LEVEL 04
RL 70.000
- ▼ LEVEL 03
RL 67.000
- ▼ LEVEL 02
RL 64.000
- ▼ LEVEL 01
RL 60.500
- ▼ GROUND LEVEL
RL 55.700
- ▼ BASEMENT 1
RL 52.040
- ▼ BASEMENT 2
RL 49.240
- ▼ BASEMENT 3
RL 46.440
- ▼ BASEMENT 4
RL 43.640
- ▼ BASEMENT 5
RL 40.840



1 SECTION - 1

1:200 at A1 1:400 at A3



2 SECTION - 2

1:200 at A1 1:400 at A3

- ▼ TOP OF THE ROOF
RL 112.000
- ▼ LEVEL 17
RL 109.000
- ▼ LEVEL 16
RL 106.000
- ▼ LEVEL 15
RL 103.000
- ▼ LEVEL 14
RL 100.000
- ▼ LEVEL 13
RL 97.000
- ▼ LEVEL 12
RL 94.000
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- ▼ BASEMENT 2
RL 49.240
- ▼ BASEMENT 3
RL 46.440
- ▼ BASEMENT 4
RL 43.640
- ▼ BASEMENT 5
RL 40.840

REFERENCES

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REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS.
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CONFIRMATION AND ADDITIONAL REQUIREMENTS.

Revision	Date	Description
A	10.05.14	DA SUBMISSION
B	07.02.15	GENERAL AMENDMENTS
C	23.07.15	GENERAL AMENDMENTS
E	03.03.16	TRAILING POSITION AND FACADE AMENDMENTS

notes
All dimensions and notes to be verified prior to construction
DO NOT SCALE measurements of drawings
Figures dimensions to be used at all times
P. IN COURT - ADA
All omissions or discrepancies to be verified to the architect



Project Architect
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Date: 05/05/2016
Drawn: RL

PROJECT
MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

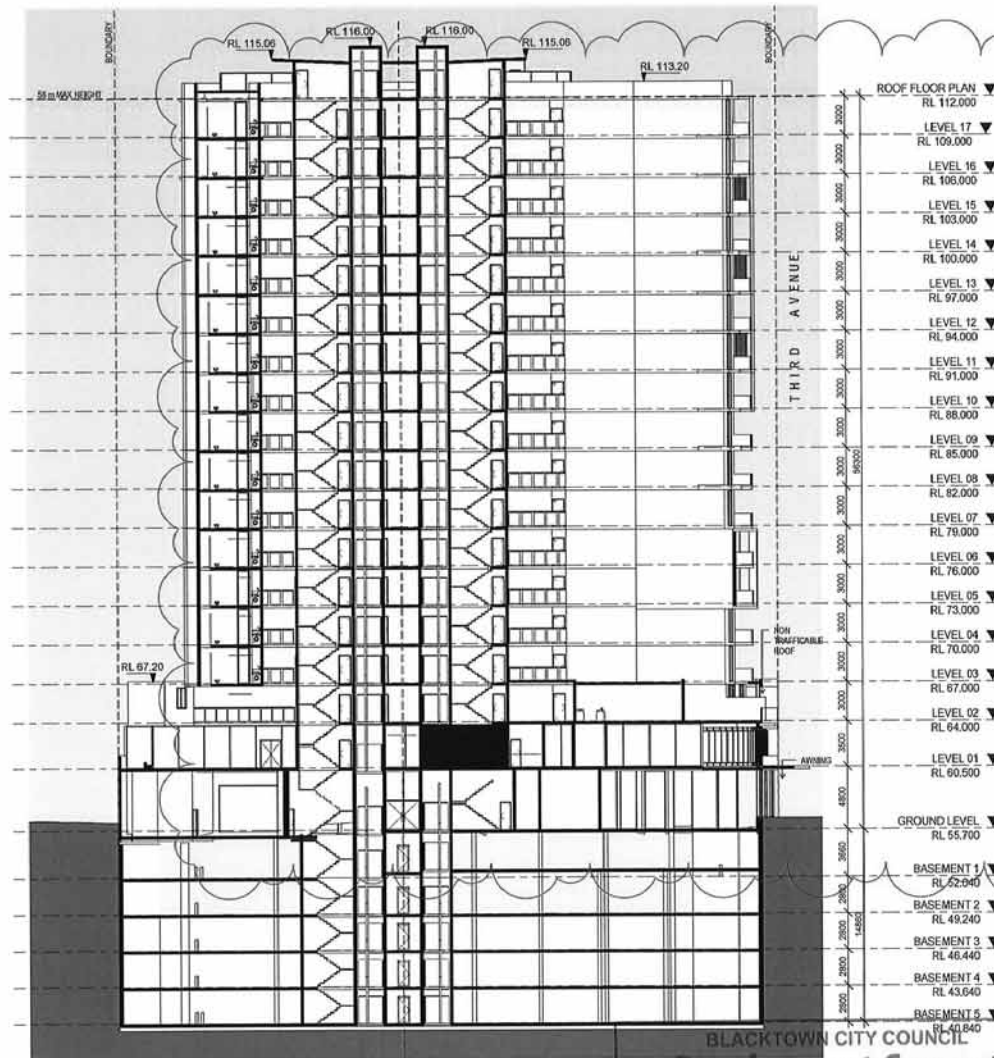
LGA: BLACKTOWN

drawing no.

SECTIONS - SHEET 1

DA SUBMISSION
J14202 | DA030 | E

job no. drawing no. rev.



3 SECTION - 3

1:200 at A1 1:400 at A3

BLACKTOWN CITY COUNCIL Development Consent

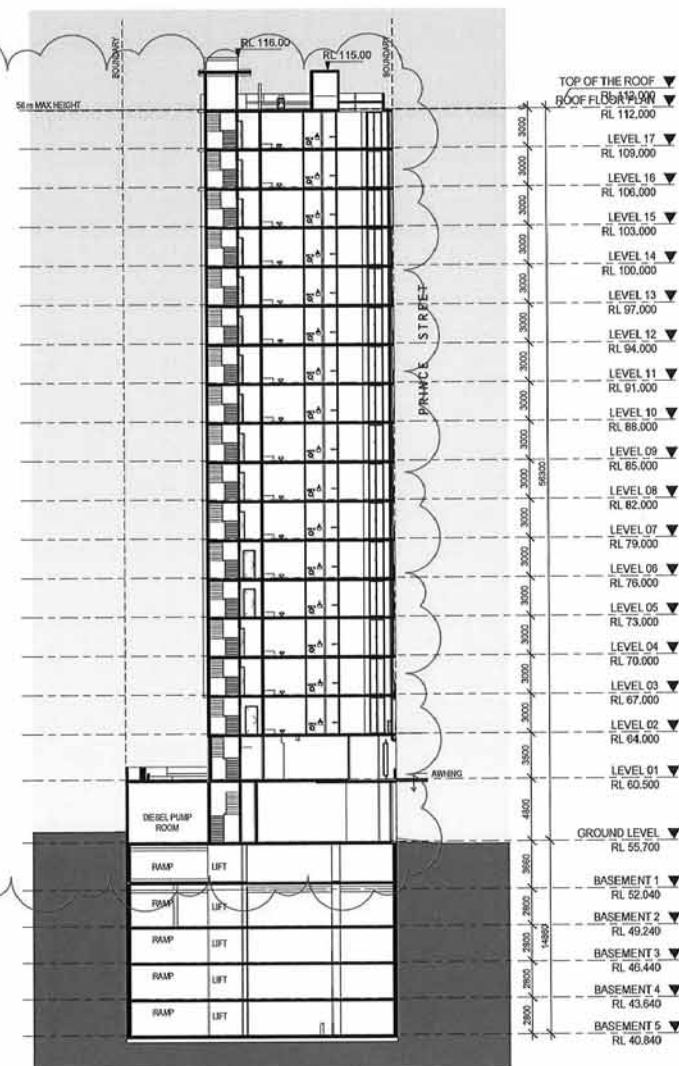
No. 15-00467

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Kerry Robinson
General Manager

per:



4 SECTION - 4

1:200 at A1 1:400 at A3

REFERENCES
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REFER TO CURRENT BASIS REPORT FOR ADDITIONAL REQUIREMENTS TO ORES NOTED ON PLANS
REFER TO THE FOLLOWING REPORTS AND/OR SUBSEQUENT REPORTS FOR CORRELATION AND ADDITIONAL REQUIREMENTS:

Revision	Rev.	Date	Description
A	1	10.07.15	GENERAL ARRANGEMENTS
B	2	10.07.15	BUILDING POSITION AND FACADE
C	3	10.07.15	AMENDMENTS

Notes
All dimensions and setbacks to be verified prior to commencement
DO NOT SCALE measurements off drawings
Figures dimensions to be used at all times
If in doubt - ASK
All dimensions or discrepancies to be notified to the architect

Scale
1:200
1:400

Project Architect
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Date
03/03/2016

Drawn
RL

MIXED USE DEVELOPMENT
16 THIRD AVENUE, BLACKTOWN

LGA, BLACKTOWN

Drawing Title
SECTIONS - SHEET 2

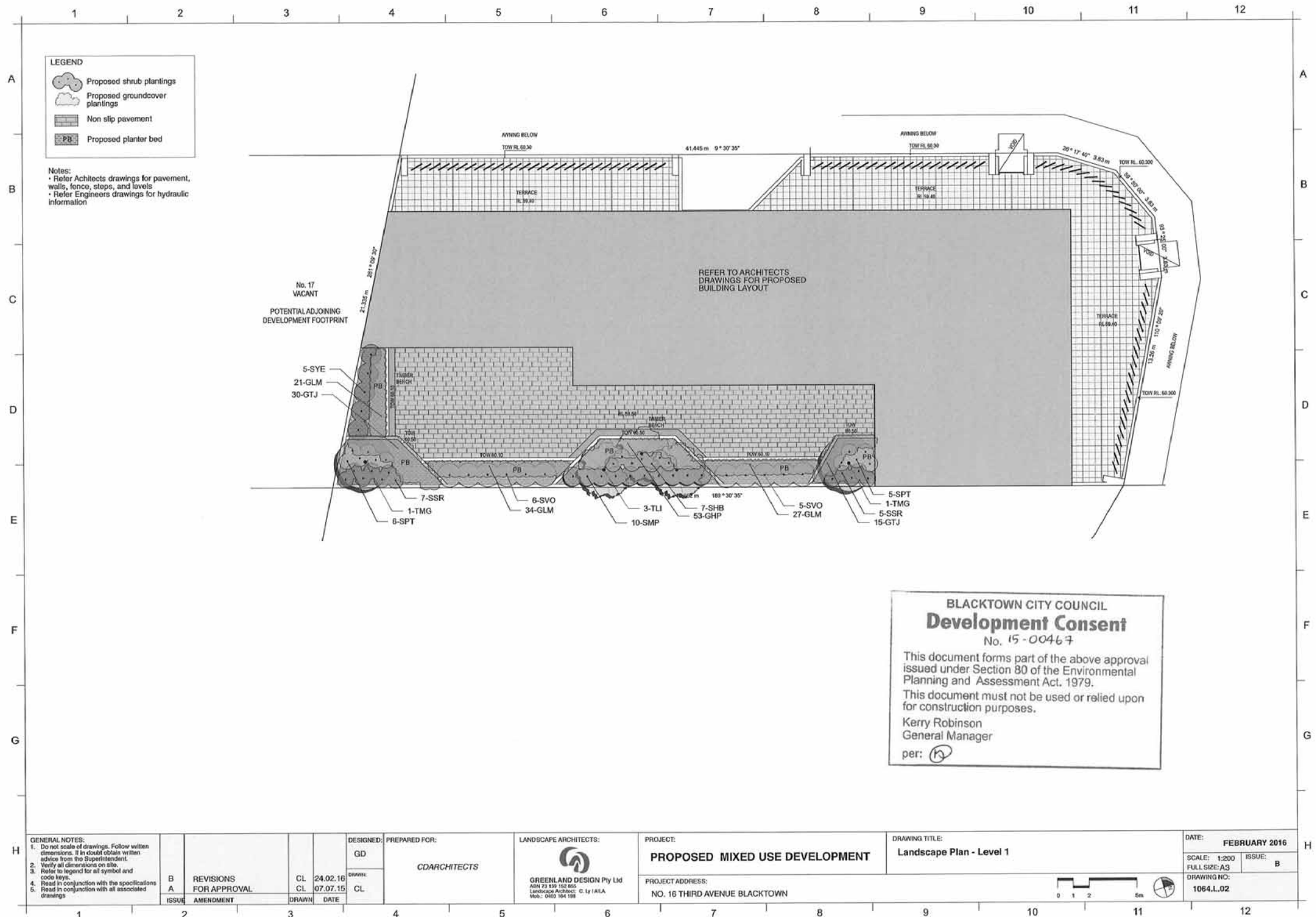
DA SUBMISSION

J14202

Job no.

DA031

Drawing no.

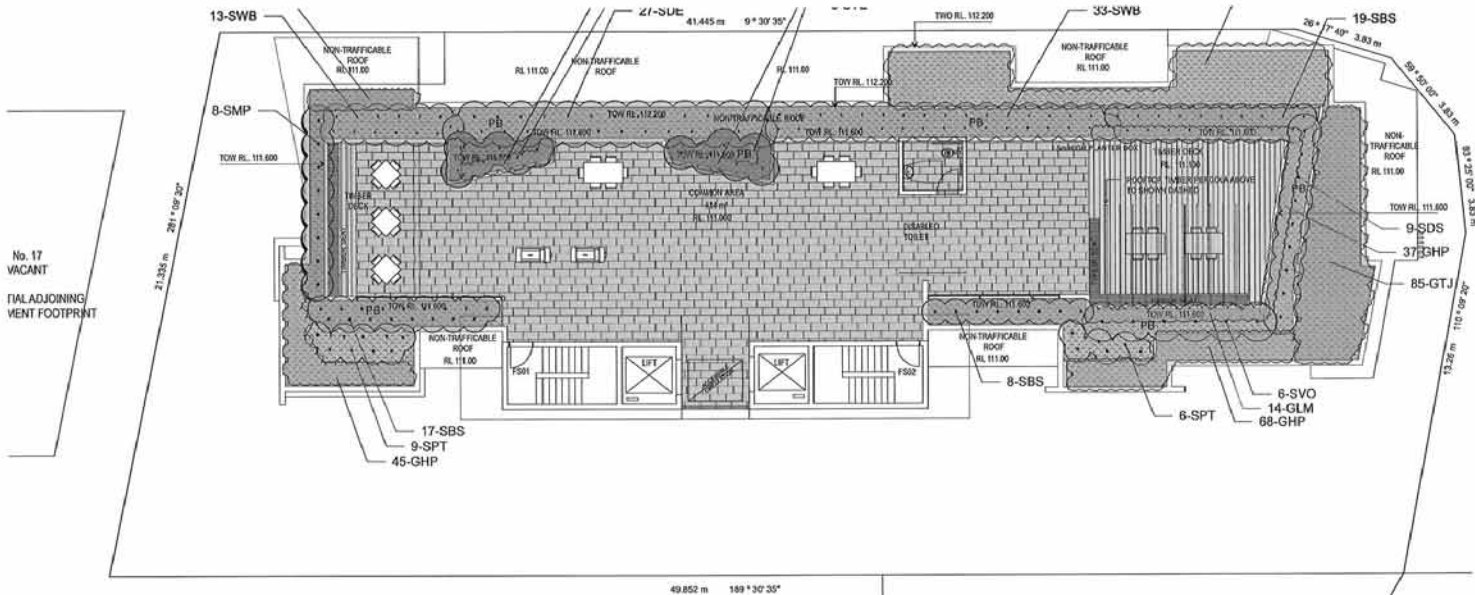


LEGEND

- Proposed shrub plantings
- Proposed groundcover plantings
- Non slip pavement
- Flush timber deck
- Proposed planter bed

Notes:

- Refer Architects drawings for pavement, walls, fence, steps, and levels
- Refer Engineers drawings for hydraulic information

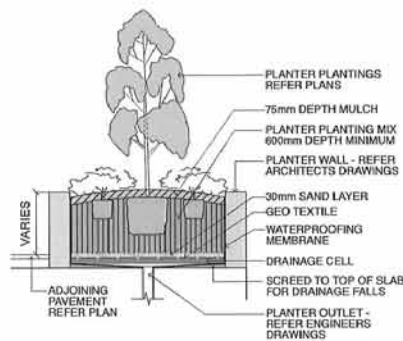


BLACKTOWN CITY COUNCIL
Development Consent
 No. 15-00467

This document forms part of the above approval issued under Section 80 of the Environmental Planning and Assessment Act, 1979.
 This document must not be used or relied upon for construction purposes.
 Kerry Robinson
 General Manager
 per:

GENERAL NOTES: 1. Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent. 2. Verify all dimensions on site. 3. Refer to legend for all symbol and code keys. 4. Read in conjunction with the specifications. 5. Read in conjunction with all associated drawings.	B A	REVISIONS FOR APPROVAL	CL CL	24.02.16 07.07.15	DESIGNED: GD DRAWN: CL	PREPARED FOR: CDARCHITECTS	LANDSCAPE ARCHITECTS: GREENLAND DESIGN Pty Ltd ABN 73 129 152 850 Landscape Architect: C. Ly IALA MBL: 0453 184 188	PROJECT: PROPOSED MIXED USE DEVELOPMENT PROJECT ADDRESS: NO. 16 THIRD AVENUE BLACKTOWN	DRAWING TITLE: Landscape Plan - Roof Terrace	DATE: FEBRUARY 2016 SCALE: 1:200 FULL SIZE: A3 DRAWING NO: 1064.L.03	ISSUE: B





1 Planter Bed On Slab
scale 1:50

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:
Planting mix for tree pit backfill shall be "Organic Garden Mix" consisting of:
50% Black Soil
20% Coarse Sand
30% Organic Material
as available from Australian Native Landscapes, Phone: (02) 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Planter Mix:
Planter mix shall be Peat and Planter Mix as supplied by Australian Native Landscapes Pty Ltd (ph (02) 9450 1444 or approved equivalent).

Planter Drainage Cells:
Planter drainage cell shall be VersiCell as supplied by Elmich Australia Pty Ltd (ph (02) 9648 2073 or approved equivalent).

Mulch:

Mulch to garden bed & planter bed:

Mulch shall mean Hort-Bark (15mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded pine bark mulch (ANL code MHB) to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

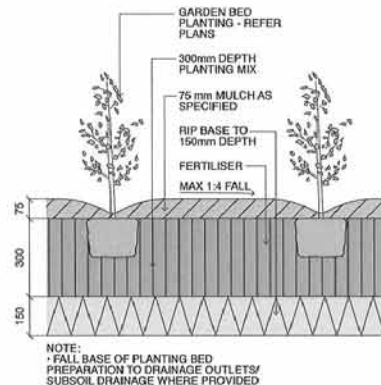
Spread mulch so that after settling, it is:

- smooth and evenly graded between design surface levels;
- flush with adjacent finished levels;
- of the required depths (75mm); and
- sloped towards the base of plant stems in planter beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.



2 Planting Bed Detail
scale 1:50

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principals Representative and the Site Superintendent. The maintenance period shall commence at the granting of practical completion and shall extend for 26 weeks.

Maintenance shall consist of the following works:

- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth. Water all turf and native grassed areas, twice per week.
- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassed bed areas, turf areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction be the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strapping of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Fertilise lawn areas to maintain healthy growth.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- Mow lawn to maintain neat healthy growth.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines.
- This plan to be used in conjunction with all other submitted architectural, hydraulic and engineering drawings.

Development Consent

No. 15-00467

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Kerry Robinson
General Manager

per: LANDSCAPE ARCHITECTS:

PROJECT: PROPOSED MIXED USE DEVELOPMENT

PROJECT ADDRESS: NO. 16 THIRD AVENUE BLACKTOWN

Plant Schedule

ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
Trees							
TLI	3	Crope Myrtle	Lagerstroemia indica 'Natchez'	45Litre	6 - 8m	3.5 - 6m	
TMG	2	Little Gem Southern Magnolia	Magnolia grandiflora 'Little Gem'	45Litre	4 - 6m	2.0 - 3.5m	
Shrubs							
SSS	44	Common Boxwood	Buxus sempervirens	200mm	3 - 5m	0.9 - 1.2m	
SDE	27	Gynsea Lily	Doronicum excelsa	200mm	1.2 - 2m	1.2 - 2.0m	N
SSS	9	Duranta Gold	Duranta 'Sheenas Gold'	200mm	0.8 - 1.2m	0.9 - 1.2m	
SHB	7	Veronica	Veronica	200mm	0.9 - 1.5m	0.6 - 0.9m	
SMP	18	Orange Jessamine	Murraya paniculata	200mm	1.5 - 3m	3.5 - 6m	
SPT	26	New Zealand Flax	Phormium tenax 'Flamin'	200mm	0.8-0.9m	0.8 - 1.0m	
SSR	18	Bird Of Paradise	Strelitzia reginae var. juncea	200mm	0.9 - 1.5m	0.9 - 1.2m	
SVO	17	Dense Form Viburnum	Viburnum odoratissimum 'Dense Form'	200mm	3 - 4m	2 - 3m	
SWB	46	Blue Gem	Westringia 'Blue Gem'	200mm	0.8 - 1.0m	0.9 - 1.2m	N
SYE	22	Spineless Yucca	Yucca elephantipes	200mm	2.0 - 3.0m	0.8 - 1.2m	
Ground Covers							
GHV	115	False Sansevieria	Hardenbergia violacea 'Meema'	150mm	0.75 - 0.9m	1.2 - 2.0m	N
GNP	203	Licorice Plant	Holchrysium petiolare 'Licorice'	150mm	0.3 - 0.45m	0.6 - 0.9m	
GLM	153	Giant Lily Turf	Liriope muscari 'Evergreen Giant'	150mm	0.0 - 0.3m	0.0 - 0.3m	
GTJ	138	Star Jasmine	Trachelospermum jasminoides	150mm	0.3 - 0.6m	1 - 4m	

IRRIGATION SYSTEM AND REQUIREMENTS

DESCRIPTION OF WORKS

The scope of works in this section comprises the design and specification (for comment by Superintendent), supply, and installation of fully automated commercial drip irrigation system to all landscaped areas and to Councils requirements.

The general location and extent of the areas to be irrigated is as shown on plans and includes:

- Planter bed areas to be irrigated by "Techline" dripline at 750mm intervals, capable of delivering 20mm / week.
- Garden bed areas to be irrigated by "Techline" dripline at 750mm intervals, capable of delivering 20mm / week.

The Contractor shall provide shop drawings and materials and equipment specifications for comment by the Superintendent. Notwithstanding comments on the irrigation design being provided by the Superintendent responsibility for the technical design, operation and adequacy of performance of the irrigation system will remain with the Contractor.

The irrigation works shall include all mechanical, hydraulic requirements to the performances required and includes but is not limited to the following:

- Design of drip line irrigation system and related hydraulic / electrical works for approval by the relevant authorities and for comment by the Superintendent.
- Attainment of all relevant authority approvals and inspections.
- Connection to water service.
- Construction and testing of new irrigation pipework.
- Instruction of operators.
- Maintenance of continuity of use, repair and/or replacement of utility services affected by the installation of the irrigation system.
- Excavation, shoring, dewatering and backfilling in all classes of material.
- Modification of existing structures commissioning of all works constructed under this project.
- Maintenance of the required performance of the irrigation system.
- Excavation & backfill.
- Maintenance period of 12 months.
- A minimum warranty period of 12 months for parts and labour on pumps, control system components and irrigation components.
- Visit site once a month during the warranty period to check the and monitor performance of the equipment and operators.

FEES PERMITS AND APPROVALS

The Contractor shall be responsible for securing all necessary inspections and approvals. Before commencement of any works on the site the Contractor shall obtain approval from the Superintendent for the works to proceed and submit the necessary notification forms to all authorities having jurisdiction. These shall include but are not limited to the following:

- Connection Fees & Inspection Fees - Water Authority
- Document Inspection Fees - Water Authority
- Service Connection Charges - Water Authority

The Contractor shall pay all fees, permits, royalties, deposits, and charges and shall produce documentary evidence to the Superintendent upon request.

EXISTING FACILITIES, UTILITIES AND SERVICES

The Contractor's attention is drawn to the existence of utility services within the works site. The Contractor shall be fully responsible for ascertaining exact locations and levels of services or consumer mains which may be encountered during the course of the works. The Contractor shall liaise and consult with services authorities as required during the course of the project.

Any damage to services or infrastructure facilities caused by any actions of the Contractor shall be repaired entirely to the satisfaction of the owner of such services and costs incurred by the Contractor.

When a service must be interrupted to enable the carrying out of works under this contract such interruption shall be at a time agreed with the responsible authority or owner and the Superintendent. The Contractor shall organise and be responsible for all necessary notifications and approvals required.

Costs of relocation diversion, temporary removal and replacement of any service shall be borne by the Contractor.

DRIPLINE SYSTEM

Fully automated commercial grade "Techline" dripline system or approved equivalent to be installed as per manufacturers specification and recommendations.

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 - Refer to legend for all symbol and code keys.
 - Read in conjunction with the specifications.
 - Read in conjunction with all associated drawings.

ISSUE	AMENDMENT	DRAWN	DATE
B	REVISIONS FOR APPROVAL	CL	24.02.16
A		CL	07.07.15

DESIGNED: GD	PREPARED FOR: CDARCHITECTS
DRAWN: CL	

GREENLAND DESIGN Pty Ltd
ABN 23 139 152 855
Landscape Architect: C. Ly IARA
Mob: 0800 198 198

DRAWING TITLE: Landscape Details & Specification

DATE: FEBRUARY 2016
SCALE: varies
FULL SIZE: A3
DRAWING NO: 1064.L.04
ISSUE: B